

EXETER BLAKESLEE LOT 110 LAND LLC FINAL LAND DEVELOPMENT PLANS

FOR
LOT 110
TOBYHANNA TOWNSHIP, MONROE COUNTY, PA
MARCH 13, 2018

RECEIVED

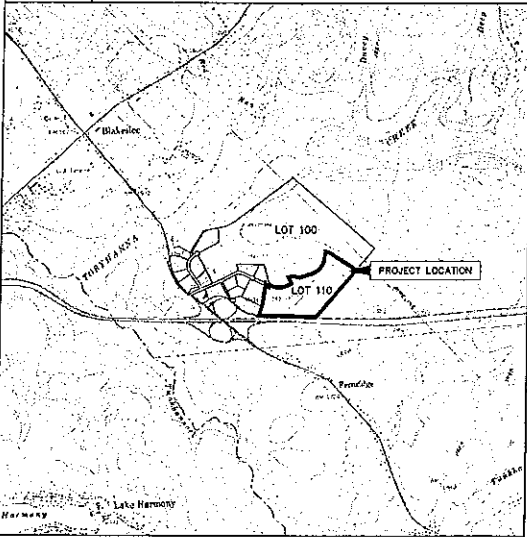
BY:

INDEX OF DRAWINGS

SHEET No.	DESCRIPTION
	COVER SHEET AND INDEX
1	EXISTING SITE PLAN
2	OVERALL LAND DEVELOPMENT PLAN
3	LOT LAYOUT / EASEMENT PLAN
4-7	LAND DEVELOPMENT PLANS
8-11	GRADING AND DRAINAGE PLANS
12	LIGHTING & LANDSCAPE PLAN
13-19	PROFILES
20-23	CONSTRUCTION DETAILS
24-26	STORMWATER OPERATION & MAINTENANCE PLAN

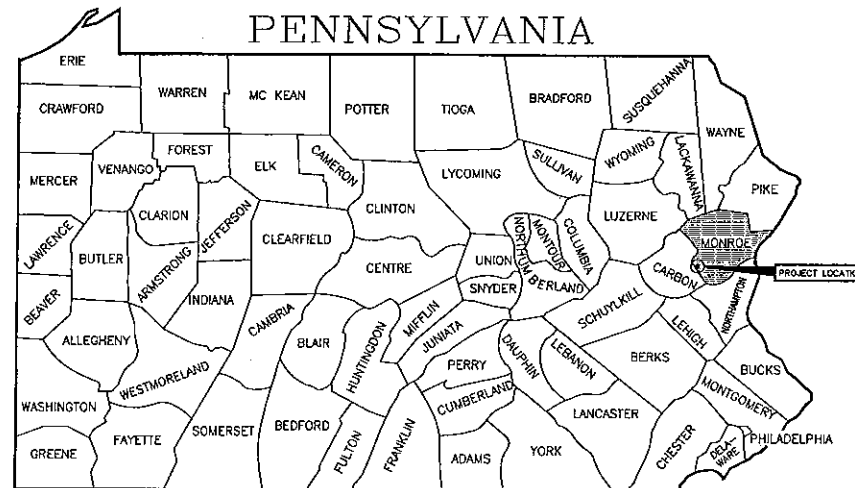
SUPPLEMENTAL DATA

SHEET No.	DESCRIPTION
ESPC 1-19	LOTS 100 & 110 E&S CONTROL PLANS
PCSWM 1-20	LOTS 100 & 110 POST CONSTRUCTION STORMWATER MANAGEMENT PLANS



LOCATION MAP
SCALE: 1" = 200'

THIS PLAN SET IS INTENDED FOR APPROVAL PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.



PREPARED BY:
REILLY ASSOCIATES
ENGINEERING / ENVIRONMENTAL / SURVEYING
P.O. BOX 667
STROUDSBURG, PA. 18360
TELEPHONE (570) 421-7320
FAX (570) 421-7230
RA# 17052.06



CHRISTOPHER P. McDERWOTT
PE-043178-E

LAND DEVELOPMENT PLAN FINAL PLAN RECOMMENDATION TOBYHANNA TOWNSHIP PLANNING COMMISSION		LAND DEVELOPMENT PLAN FINAL PLAN APPROVAL TOBYHANNA TOWNSHIP SUPERVISORS	
SIGNED	DATE	SIGNED	DATE
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

ON _____ THE MONROE COUNTY PLANNING COMMISSION REVIEWED THIS LAND DEVELOPMENT PLAN.
OWNER CERTIFICATION AND ACKNOWLEDGEMENT OF PLAN

I HEREBY CERTIFY THAT EXETER BLAKESLEE LOT 110 LAND LLC IS THE REGISTERED OWNER OF THE LAND HEREIN PROPOSED TO BE DEVELOPED AND THAT ALL NECESSARY APPROVALS HAVE BEEN OBTAINED, AND THAT SAID OWNER ACCEPTS THIS PLAN AND DESIRES THE SAME TO BE RECORDED.

EXETER BLAKESLEE LOT 110 LAND, LLC
a Delaware limited liability company
By: Exeter Operating Partnership IV, L.P.
a Delaware limited liability company
its sole member
By: Exeter Operating Partnership IV of LLC
a Delaware limited liability company
its general partner
By: Exeter Industrial REIT IV, LLC
a Delaware limited liability company
its sole member
By: _____
Name: Timothy J. Weber
Title: Vice President

COMMONWEALTH OF PENNSYLVANIA :
COUNTY OF _____ : SS

ON _____ DAY OF _____ 2018, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED TIMOTHY J. WEBER, WHO ACKNOWLEDGED HIMSELF TO BE THE VICE PRESIDENT OF EXETER INDUSTRIAL REIT IV, LLC, A DELAWARE LIMITED LIABILITY COMPANY, THE SOLE MEMBER OF EXETER OPERATING PARTNERSHIP IV OF LLC, A DELAWARE LIMITED LIABILITY COMPANY, THE GENERAL PARTNER OF EXETER OPERATING PARTNERSHIP IV, L.P., A DELAWARE LIMITED PARTNERSHIP, THE SOLE MEMBER OF EXETER BLAKESLEE LOT 110 LAND, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND THAT AS SAID OFFICER BEING AUTHORIZED TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF THE SAID AND BY SIGNING HIS NAME AS SAID OFFICER.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND NOTARIAL SEAL.

NOTARY PUBLIC
LANDOWNER'S ACKNOWLEDGEMENT

_____ ACKNOWLEDGES THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE REVIEWED BY THE MUNICIPALITY AND THE MONROE COUNTY CONSERVATION DISTRICT.

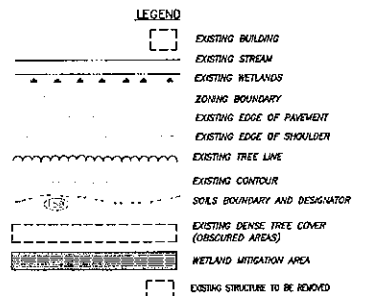
SIGNATURE _____ DATE _____
APPROVAL OF TOBYHANNA TOWNSHIP AND THE MONROE COUNTY CONSERVATION DISTRICT IS REQUIRED FOR ANY REVISIONS TO THE APPROVED DRAINAGE PLANS.

- WAVERS GRANTED (WITH PRELIMINARY PLANS)**
1. SAID SECTION 132-120(9) / 132-17 LAW: WAIVER REQUEST FOR THOSE PORTIONS OF THE PROPERTY WHICH DO NOT INCLUDE THE 300 FOOT DIMENSION.
 2. SAID SECTION 124-96.8(17): WAIVER REQUEST FOR VERTICAL PROFILES OF OPEN CHANNELS.

PROJECT SCHEDULE: FINAL LAND DEVELOPMENT APPROVAL _____
MOP PLAN APPROVAL: 02/01/2018
NOTICE APPROVAL: SAISON REVISIONS TO NOTICE # PAD-00308
CONSTRUCT PROJECT: 04/01/2018 - 12-01-2018

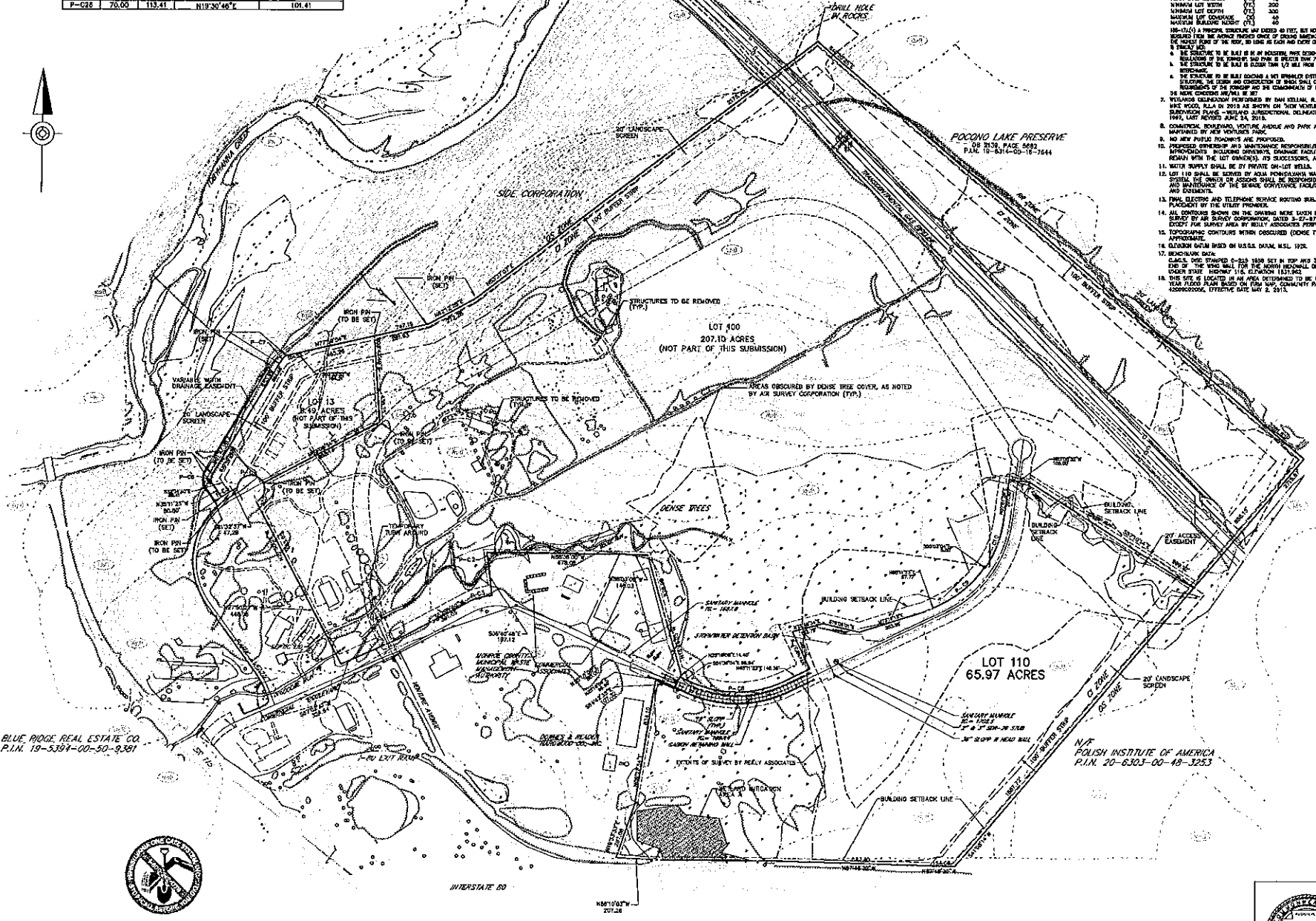
PROPERTY LINE CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD LENGTH
P-C1	23218.33	894.31	N88°52'42"W	894.32
P-C2	300.00	31.80	S03°38'38"E	31.78
P-C3	342.05	129.51	S74°58'21"W	128.74
P-C4	70.00	179.23	S79°44'42"W	174.13
P-C5	393.65	44.71	S31°17'24"W	44.69
P-C6	43.78	50.92	N01°52'08"W	48.10
P-C7	200.00	49.59	N38°33'18"E	49.46
P-C8	562.00	490.25	S89°43'21"E	474.74
P-C9	552.00	290.29	N50°04'09"E	286.04
P-C10	555.00	282.42	N81°24'12"E	289.58
P-C28	70.00	113.41	N19°30'48"E	101.41

- GENERAL NOTES**
- EXISTING OWNER/DEVELOPER: EXETER BLAKESLEE LOT 110 LAND LLC, 101 WEST 84th STREET, SUITE 200, COVINGTON, PA 15020
 - THE DRAWING SHALL BE IN CONFORMANCE WITH THE DESIGN AND CONSTRUCTION OF THE PENNSYLVANIA SUBDIVISION MAP ACT AND THE CURRENT EDITION OF THE PA 600 ENGINEERING WASTEWATER FACILITIES MANUAL.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING AN AS-BUILT SURVEY OF ALL EXISTING UTILITIES AND RECORDS AND FOR THE ACCURACY OF THE SAME. APPROVAL OF THE COMMISSIONER OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - PROPOSED LINES/INDICATE / DISTRIBUTION CENTER
 - CONDO DISTRICTS: 2 (COMMERCIAL / INDUSTRIAL)
 - ZONING DISTRICT RESTRICTIONS: 20
 - MINIMUM LOT AREA (SQUARE FEET): 370
 - MINIMUM FRONT YARD SETBACK (FEET): 47.74
 - MINIMUM SIDE YARD SETBACK (FEET): 10
 - MINIMUM LOT WIDTH (FEET): 200
 - MINIMUM LOT DEPTH (FEET): 300
 - MINIMUM LOT COVERAGE (%): 40
 - MINIMUM LOT HEIGHT (FEET): 40
 - NO NEW PUBLIC ROWS ARE PROPOSED.
 - NO NEW PUBLIC UTILITIES ARE PROPOSED.
 - PROPOSED OWNERSHIP AND MAINTENANCE RESPONSIBILITIES OF UNIMPROVED INFRASTRUCTURE INCLUDING DRAINAGE FACILITIES AND UTILITIES SHALL REMAIN WITH THE LOT OWNERS, WHO SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE SAME. CONVEYANCE FACILITIES WITHIN THEIR PROPERTY AND JURISDICTION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - WATER SUPPLY SHALL BE BY PRIVATE ON-LOT WELLS.
 - LOT 110 SHALL BE SERVED BY SEWER FROM PENNSYLVANIA WASTEWATER, INC. SPACE UTILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - FINAL ELECTRIC AND TELEPHONE SERVICE ROUTING SUBJECT TO ACTUAL LAYOUT BY THE UTILITY PROVIDER.
 - ALL CONTIGUOUS SHOWN ON THE DRAWING WERE TAKEN FROM AERIAL TOPOGRAPHIC SURVEY BY AIR SURVEY CORPORATION, DATED 3-27-87, BALTIMORE, M.D. 1920.
 - EXISTING SURVEY AREA BY REILLY ASSOCIATES, PERFORMED IN NOVEMBER 2017.
 - TOPOGRAPHIC CONTOURS WITHIN OBSCURED (DENSE TREES) AREAS ARE APPROXIMATE.
 - CLUSTER DATA BASED ON USGS DATA, NAD 83, 1920.
 - RECORDING DATE: 0-23-2018 SET IN TOP AND 3 FEET N.E. OF THE S.E. CORNER OF THE PLAT FOR THE COUNTY RECORDAL OF A 3" PLAT PER COUNTY ORDER STATE HIGHWAY 116 ELEVATION 151.90.
 - THIS SITE IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE OF THE 100 - YEAR FLOODPLAIN AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 220000000E, EFFECTIVE DATE MAY 2, 2015.
 - THE DRAINAGE VEGETATION IN THE BUFFER STRIP AREAS IS TO BE MAINTAINED.
 20. STORMWATER MANAGEMENT SHALL BE IN CONFORMANCE WITH THE DESIGN AND CONSTRUCTION OF THE PENNSYLVANIA SUBDIVISION MAP ACT AND THE CURRENT EDITION OF THE PA 600 ENGINEERING WASTEWATER FACILITIES MANUAL.
 21. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING AN AS-BUILT SURVEY OF ALL EXISTING UTILITIES AND RECORDS AND FOR THE ACCURACY OF THE SAME. APPROVAL OF THE COMMISSIONER OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 22. ACCESS EASEMENT SHOWN IS FOR USE OF EXETER BLAKESLEE LOT 110 LAND LLC, FOR ACCESS PURPOSES.
 23. A 15 FOOT PLANNED ACCESS EASEMENT SHALL BE ESTABLISHED AROUND ALL STRUCTURE MANAGEMENT FACILITIES AND SHALL EXTEND TO THE PLUMB POINT-OF-WAY TO PROVIDE ADEQUATE ACCESS AND EGRESS FROM SIDE FACILITIES.
 24. THIS PROPERTY IS SUBJECT TO ALL REQUIREMENTS OF THE APPROVED SUBDIVISION MAP, NEW VENTURES PARK-PHASE W.
 25. NO ADDITIONAL SHORES ARE PROPOSED FOR THIS SITE AS THIS THE FOLLOWING PERFORMANCE REQUIREMENTS ARE TO BE MET:
 - 25.1. ESTABLISHMENT OF SHOULDER, DIRT, PLANTS, CHEMICALS OR OTHER HAZARDOUS GASES SHALL BE WITHIN THE LIMITS OF THE INDIVIDUAL TOPOGRAPHIC SHOULDER OF THE LOT. LOTS WITH STORMWATER COLLECTION SHALL BE INSTALLED WITHIN THE SYSTEM DRAINAGE OPERATED AND MAINTAINED IN STRICT ACCORDANCE WITH SPECIFICATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CURRENT EDITION OF THE PA 600 ENGINEERING WASTEWATER FACILITIES MANUAL WITH THE APPLICABLE STATE AND LOCAL STATUTES AND WITH THE PROVISIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 - 25.2. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE SYSTEM DRAINAGE OPERATED AND MAINTAINED IN STRICT ACCORDANCE WITH SPECIFICATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CURRENT EDITION OF THE PA 600 ENGINEERING WASTEWATER FACILITIES MANUAL WITH THE APPLICABLE STATE AND LOCAL STATUTES AND WITH THE PROVISIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 - 25.3. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE SYSTEM DRAINAGE OPERATED AND MAINTAINED IN STRICT ACCORDANCE WITH SPECIFICATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CURRENT EDITION OF THE PA 600 ENGINEERING WASTEWATER FACILITIES MANUAL WITH THE APPLICABLE STATE AND LOCAL STATUTES AND WITH THE PROVISIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 26. A STORMWATER MANAGEMENT PLAN IS REQUIRED PURSUANT TO SECTION 110 OF THE ACT OF JUNE 1, 1968 (P.S. 5403), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. THE PLAN SHALL BE SUBMITTED TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL.
 27. SUPPLEMENTAL PLANT MATERIALS MAY BE REQUIRED BY THE TOWNSHIP OF TOBYHANNA UPON INSPECTION OF THE LANDSCAPE BUFFER AREA DURING CONSTRUCTION.
 28. A STORMWATER MANAGEMENT PLAN IS REQUIRED PURSUANT TO SECTION 110 OF THE ACT OF JUNE 1, 1968 (P.S. 5403), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. THE PLAN SHALL BE SUBMITTED TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL.
 29. THE PROJECT AS PROPOSED TO DEVELOP THE LOT WITH A WAREHOUSE/DISTRIBUTION CENTER AND ANNUAL FACILITIES AS SHOWN ON THE PLANS. THE ULTIMATE USER OF THE FACILITY HAS NOT BEEN DETERMINED. YEARS OF OPERATION MAY BE UP TO 25 YEARS PER DAY 7 DAYS PER WEEK. HOWEVER, SMALL DETERMINATION OF THE OPERATING HOURS WILL VARY BASED UPON THE FINAL PHASE OF THE PLAN.
 30. PROJECT SCHEDULE:
 - PRELIMINARY APPROVAL: 07/11/17
 - FINAL PLAN APPROVAL: 07/11/17
 - MAJOR MODIFICATION TO WETLAND PROVISIONS: 04/11/2018 - 12/1/2018
 - CONTRACT PROJECT: 04/11/2018 - 12/1/2018
 31. IT IS ACKNOWLEDGED THAT STORMWATER DISCHARGES FROM LOT 110 AND FLOODS ACROSS THE EXISTING WETLAND AREA ON LOT 100 TO CROSS RAN.
 32. THE EXISTING OWNER / DEVELOPER IS RESPONSIBLE FOR MAINTAINANCE AND IMPROVEMENTS OF AN EXISTING DRAINAGE ON PRIVATE ROAD UNDER OF LOT 100 AND 110 SHALL HAVE FREE ACCESS ALONG THE CROSS ACCESS EASEMENT(S) AS SHOWN ON THE PLAN.
 33. EXISTING PLACED OF FILL OR STRUCTURES AND ANY ALTERATIONS THAT MAY AFFECT THE FLOW OF STORMWATER WITHIN ANY PORTION OF THE DRAINAGE BASIN SHALL BE PROHIBITED.



REILLY ASSOCIATES, INC. ENGINEERS AND ARCHITECTS
 1000 W. MARKET STREET, SUITE 100, HARRISBURG, PA 17102
 P.O. BOX 897, HARRISBURG, PA 17102
 TEL: 717.651.1226, FAX: 717.651.1218
 WWW.REILLYASSOCIATES.COM

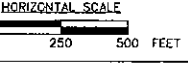
EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EBY
FINAL PLANS		Checked By: JPS
NEW VENTURES PARK		Approved By: CPN
LOT 110		Date: 3/13/2018
TOBYHANNA TOWNSHIP, MONROE COUNTY		Scale: AS NOTED
PENNSYLVANIA		Project No: 17052.08
EXISTING FEATURES PLAN		Sheet No: 1



BLUE RIDGE REAL ESTATE CO.
 P.L.N. 19-5394-00-50-9381

PENNSYLVANIA ACT 187 OF 1988 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

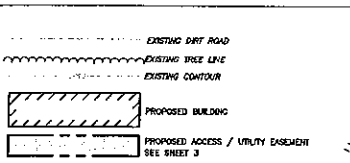
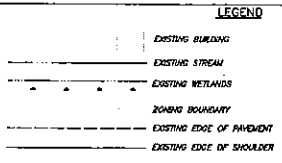
PA ONE CALL SYSTEM SERIAL NUMBER: 248653 PLACED ON 8/5/07 (LOT 100)
 PA ONE CALL SYSTEM SERIAL NUMBER: 236388 PLACED ON 8/24/07 (LOT 110)



NO.	REVISIONS	DATE	APP'D

DRAWN: CHKD: APPROVED:



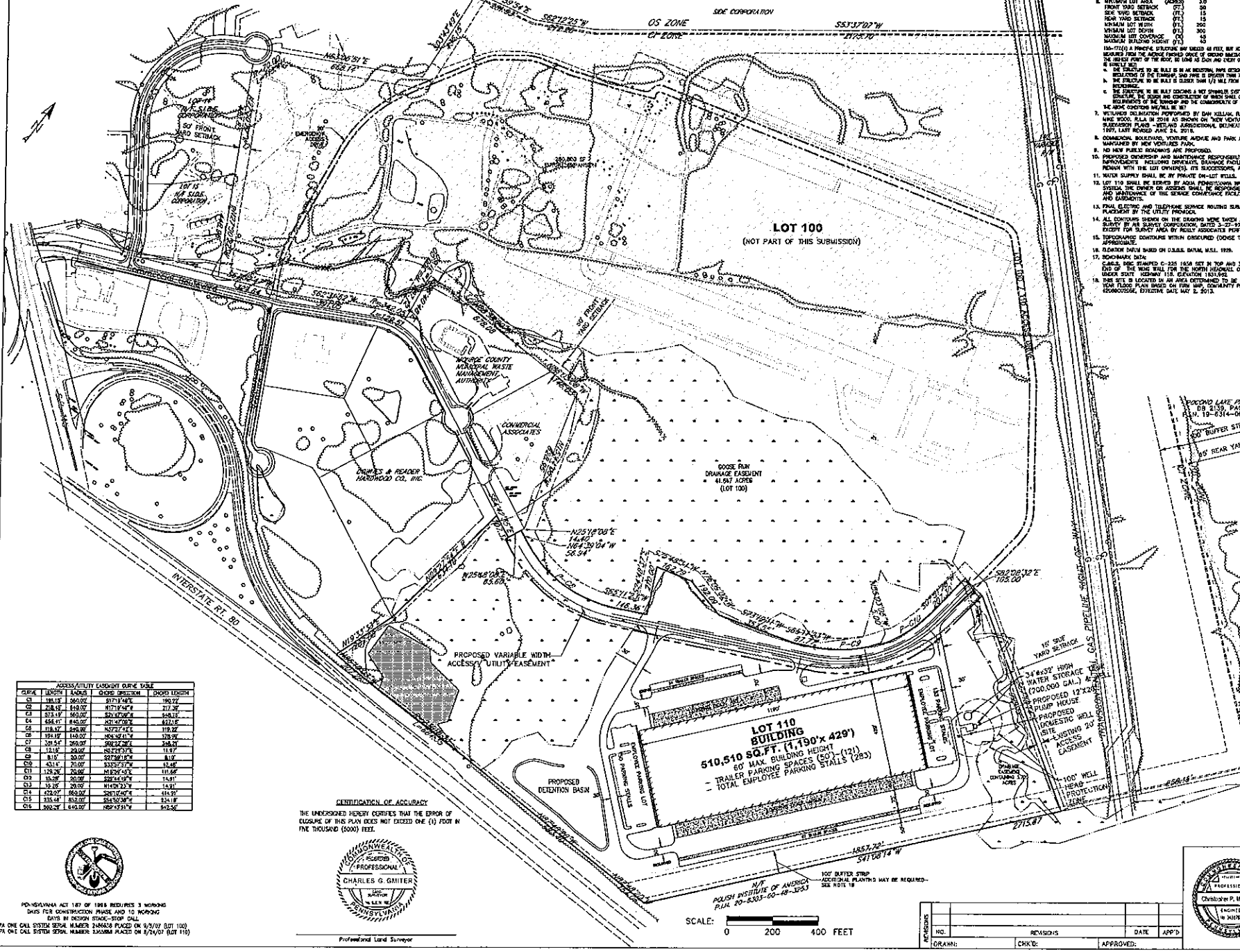


PARKING DATA:
 REQUIRED PARKING OFFICE 1/200 S.F. GROSS FLOOR AREA x 42.100 S.F./1000 S.F.
TOTAL REQUIRED: 156
 TOTAL PROPOSED PARKING 283
 TOTAL EMPLOYEE HEAD COUNT WILL VARY BASED ON THE SIZE AND USE OF THE SITE. HOWEVER, THE TOTAL NUMBER OF EMPLOYEES ON ANY 2 ADJACENT SHEETS CANNOT EXCEED 283.

OFF-STREET LOADING:
 1 PER EACH 25,000 S.F. OF GROSS BLDG FLOOR AREA
 TOTAL GROSS BLDG AREA 510,510 S.F.
 510,510/25,000=21 REQUIRED OFF-STREET LOADING STALLS (12' WIDE)
 TOTAL PROPOSED= 21 TRAILER PARKING SPACES

PROPOSED BUILDING DATA:
 TOTAL BUILDING AREA = 510,510 S.F. (11.72 AC)
 LOT COVERAGE = 17.76%
 MAX. LOT COVERAGE ALLOWED = 45%
 BUILDING HEIGHT = 41'
 MAXIMUM BUILDING HEIGHT = 40' (SEE NOTE 6)

GENERAL NOTES:
 1. EXETER BLAKESLEE LOT 110 LAND, LLC...
 2. THE PROPOSER SHALL BE RESPONSIBLE FOR OBTAINING...
 3. THE PROPOSER SHALL BE RESPONSIBLE FOR OBTAINING...
 4. PROPOSED USE, INTENSIVE / DEVELOPMENT CENTER...
 5. EXETER BLAKESLEE LOT 110 LAND, LLC...
 6. THE PROPOSER SHALL BE RESPONSIBLE FOR OBTAINING...
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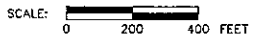


CURVE	LENGTH (FOOT)	CHORD BEARING	ARC LENGTH
C1	188.10	S89°07'00"W	188.10
C2	218.45	N71°04'00"W	218.45
C3	571.48	N61°00'00"W	571.48
C4	858.91	S21°07'00"W	858.91
C5	1146.34	N57°04'00"W	1146.34
C6	1433.77	N67°00'00"W	1433.77
C7	1721.20	S82°02'00"W	1721.20
C8	2008.63	S72°02'00"W	2008.63
C9	2296.06	N57°04'00"W	2296.06
C10	2583.49	N47°00'00"W	2583.49
C11	2870.92	N37°00'00"W	2870.92
C12	3158.35	N27°00'00"W	3158.35
C13	3445.78	N17°00'00"W	3445.78
C14	3733.21	N07°00'00"W	3733.21
C15	4020.64	N00°00'00"W	4020.64
C16	4308.07	S00°00'00"W	4308.07
C17	4595.50	S09°00'00"W	4595.50
C18	4882.93	S18°00'00"W	4882.93
C19	5170.36	S27°00'00"W	5170.36
C20	5457.79	S36°00'00"W	5457.79
C21	5745.22	S45°00'00"W	5745.22
C22	6032.65	S54°00'00"W	6032.65
C23	6320.08	S63°00'00"W	6320.08
C24	6607.51	S72°00'00"W	6607.51
C25	6894.94	S81°00'00"W	6894.94
C26	7182.37	S90°00'00"W	7182.37
C27	7469.80	S99°00'00"W	7469.80
C28	7757.23	S108°00'00"W	7757.23
C29	8044.66	S117°00'00"W	8044.66
C30	8332.09	S126°00'00"W	8332.09
C31	8619.52	S135°00'00"W	8619.52
C32	8906.95	S144°00'00"W	8906.95
C33	9194.38	S153°00'00"W	9194.38
C34	9481.81	S162°00'00"W	9481.81
C35	9769.24	S171°00'00"W	9769.24
C36	10056.67	S180°00'00"W	10056.67

CERTIFICATION OF ACCURACY:
 THE UNDERSIGNED HEREBY CERTIFIES THAT THE ERROR OF CLOSURE OF THIS PLAN DOES NOT EXCEED ONE (1) FOOT IN FIVE THOUSAND (5000) FEET.



Professional Land Surveyor



PENNSYLVANIA ACT 167 OF 1988 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL.
 PA ONE CALL SYSTEM SERIAL NUMBER PLACED ON 9/26/17 (LOT 100)
 PA ONE CALL SYSTEM SERIAL NUMBER PLACED ON 9/26/17 (LOT 110)

LAND DEVELOPMENT PLAN		LAND DEVELOPMENT PLAN	
FINAL PLAN RECONSIDERATION		FINAL PLAN APPROVAL	
TOBYHANNA TOWNSHIP PLANNING COMMISSION	TOBYHANNA TOWNSHIP SUPERVISORS	TOBYHANNA TOWNSHIP PLANNING COMMISSION	TOBYHANNA TOWNSHIP SUPERVISORS
SIGNED	DATE	SIGNED	DATE

ON BEHALF OF THE MONROE COUNTY PLANNING COMMISSION REVIEWED THIS LAND DEVELOPMENT PLAN:
OWNER CERTIFICATION AND ACKNOWLEDGMENT OF PLAN:
 I HEREBY CERTIFY THAT EXETER BLAKESLEE LOT 110 LAND, LLC IS THE REGISTERED OWNER OF THE LAND HEREIN PROPOSED TO BE DEVELOPED AND THAT ALL NECESSARY APPROVALS HAVE BEEN OBTAINED AND THAT SAID OWNER ACCEPTS THIS PLAN AND DEEMES THE SAME TO BE RECORDED.
 EXETER BLAKESLEE LOT 110 LAND, LLC
 a Delaware limited liability company
 By: _____
 Eastern Operating Partnership IV, L.P.
 a Delaware limited partnership
 its sole member
 By: _____
 Eastern Operating Partnership IV OP LLC
 a Delaware limited liability company
 its general partner
 By: _____
 Eastern Trust Fund RET IV, LLC
 a Delaware limited liability company
 its sole member
 By: _____
 Timothy J. Weber
 Vice President
 COMMONWEALTH OF PENNSYLVANIA : 155
 COUNTY OF _____
 ON THE _____ DAY OF _____ 2018, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED TIMOTHY J. WEBER, BY ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED TIMOTHY J. WEBER, WHO ACKNOWLEDGED HIMSELF TO BE THE VICE PRESIDENT OF EXETER INDUSTRIAL TRUST IV, LLC, A DELAWARE LIMITED LIABILITY COMPANY, THE SOLE MEMBER OF EASTERN OPERATING PARTNERSHIP IV OP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, THE GENERAL PARTNER OF EASTERN OPERATING PARTNERSHIP IV OP, L.P., A DELAWARE LIMITED PARTNERSHIP, THE SOLE MEMBER OF EXETER TRUST FUND IV, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND ALSO TIMOTHY J. WEBER, WHO ACKNOWLEDGED HIMSELF TO BE THE REGISTERED OWNER OF EXETER BLAKESLEE LOT 110 LAND, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND THAT SAID OFFICER HAS BEEN AUTHORIZED TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF SAID AND BY SIGNING HIS NAME AS SAID OFFICER.
 IN WITNESS WHEREOF, I HEREIN SET MY HAND AND NATURAL SEAL.

NOTARY PUBLIC: _____
LANDOWNER'S ACKNOWLEDGMENT: _____
 I HEREBY CERTIFY THAT THIS PLAN WAS REVIEWED BY THE MONROE COUNTY PLANNING COMMISSION AND THAT SAID OFFICER HAS BEEN AUTHORIZED TO DO SO, HE EXECUTED THE FOREGOING PLAN BY SIGNING THE NAME OF SAID AND BY SIGNING HIS NAME AS SAID OFFICER.

DATE: 3/13/2018
 SCALE: 1" = 200'
 PROJECT NO: 17052.06
 SHEET NO: 2

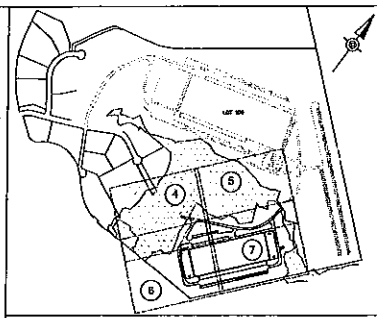
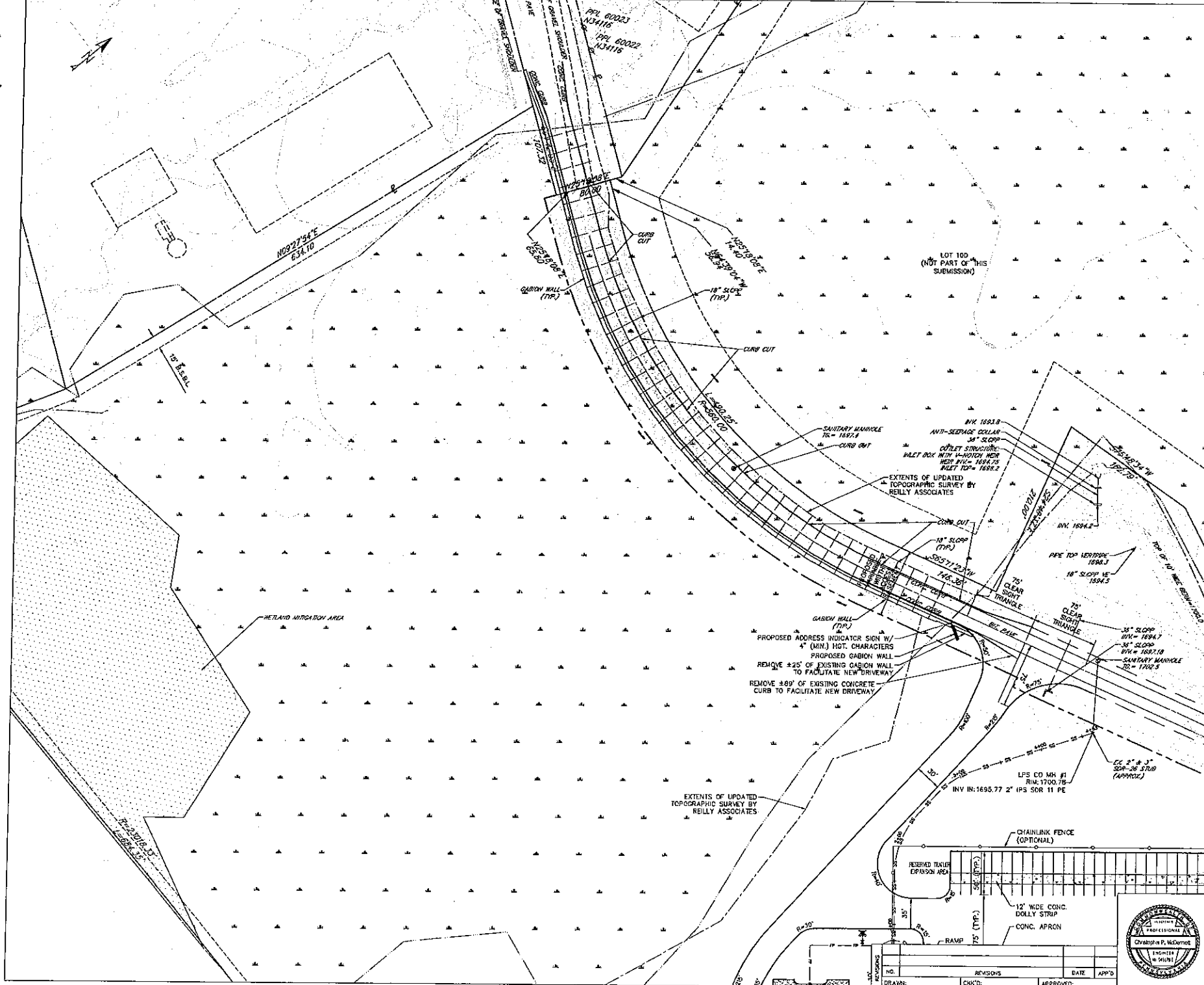
EXETER BLAKESLEE LOT 110 LAND LLC
FINAL PLANS
NEW VENTURES PARK
LOT 110
 TOBYHANNA TOWNSHIP, MONROE COUNTY
 PENNSYLVANIA

OVERALL LAND DEVELOPMENT PLAN

Reilly P.O. Box 187
 3800 W. 11th St.
 Phoenix, AZ 85029
 Tel: 602.998.1100
 Fax: 602.998.1101
 www.reilly.com

NO. _____ REMISSIS _____ DATE _____ APP'D _____
 DRAWN: _____ CHK'D: _____ APPROVED: _____

Professional Seal of Christopher P. McGowan, Licensed Professional Engineer, No. 12345, State of Pennsylvania.



KEY MAP
1"=1,000'

- LEGEND**
- EXISTING BUILDING
 - EXISTING STREAM
 - ZONING BOUNDARY
 - EXISTING EDGE PAVE
 - EXISTING MEDIAN
 - EXISTING RETAINING WALL
 - EXISTING CONCRETE
 - BUILDING SETBACK / BUFFER LINE
 - PROPOSED BUILDING
 - PROPOSED ACCESS / UTILITY EASEMENT
 - PROPOSED LIGHT DUTY PARKING AREA
 - PROPOSED CONCRETE APRON / SIDEWALK
 - PROPOSED CURB
 - PROPOSED CHAINLINK FENCE
 - PROPOSED EASEMENT
 - PROPOSED FIRE WATER MAIN, VALVE, HYDRANT AND WELL
 - PROPOSED DOMESTIC WATER MAIN, VALVE AND WELL
 - PROPOSED OVERHEAD ELECTRIC, CABLE, AND TELEPHONE LINES
 - PROPOSED GAS SERVICE
 - PROPOSED SANITARY SEWER LATERAL & CLEANOUT

EXTENTS OF UPDATED TOPOGRAPHIC SURVEY BY REILLY ASSOCIATES

EXTENTS OF UPDATED TOPOGRAPHIC SURVEY BY REILLY ASSOCIATES

EXTENTS OF UPDATED TOPOGRAPHIC SURVEY BY REILLY ASSOCIATES

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EXTENTS OF UPDATED TOPOGRAPHIC SURVEY BY REILLY ASSOCIATES

PENNSYLVANIA ACT 187 OF 1996 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL
PA ONE CALL SYSTEM SERIAL NUMBER: 2409528 PLACED ON 8/5/07 (LOT 100)
PA ONE CALL SYSTEM SERIAL NUMBER: 2365888 PLACED ON 8/24/07 (LOT 110)

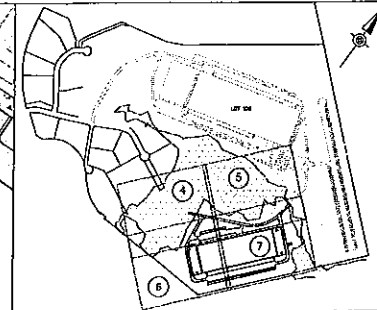
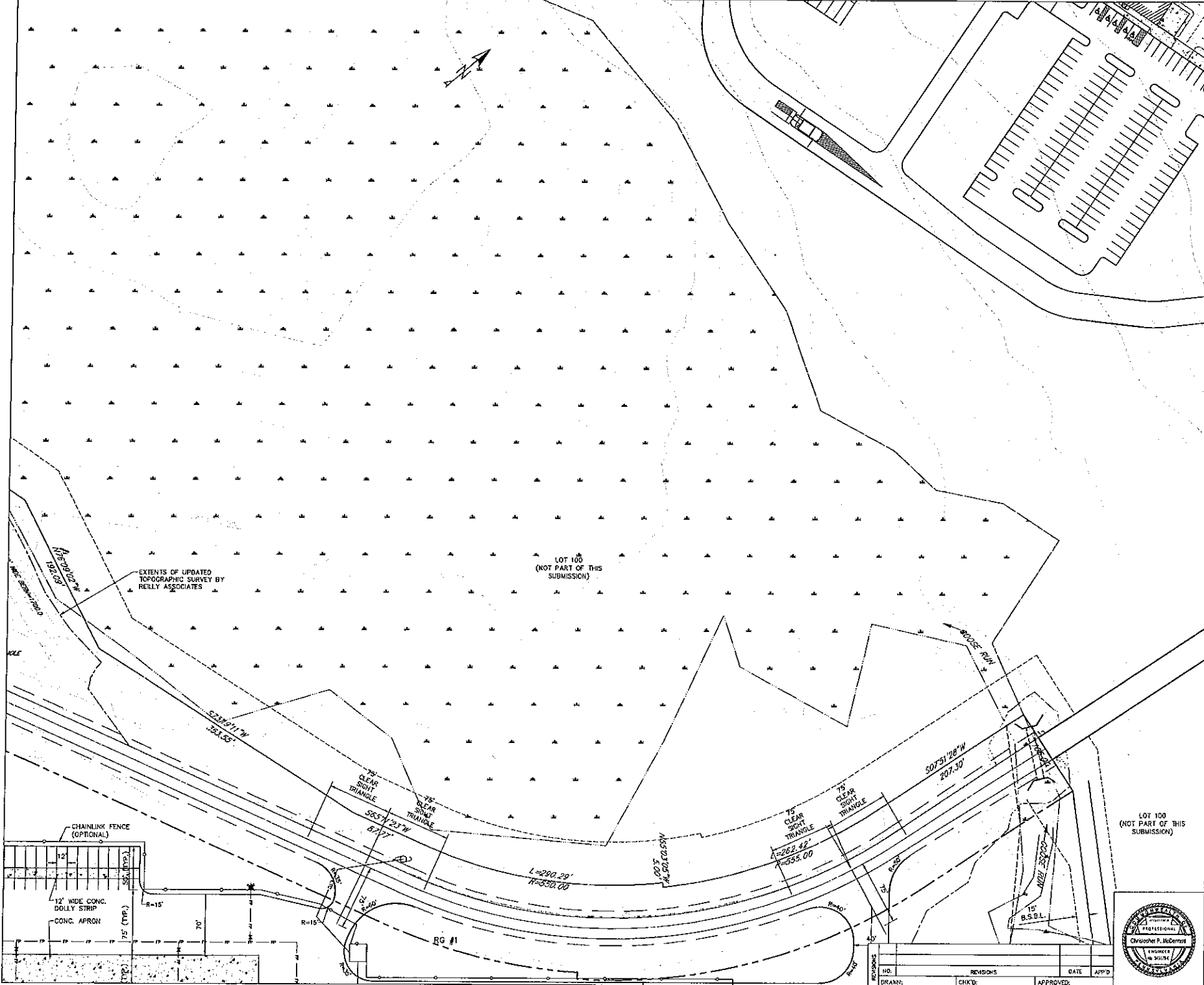
SCALE: 0 50 100 FEET

EXETER BLAKESLEE LOT 110 LAND LLC	
FINAL PLANS NEW VENTURES PARK LOT 110 TOBYMANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA	
Drawn By: EV	Checked By: JES
Approved By: CPM	Date: 3/13/2018
LAND DEVELOPMENT PLAN	
Scale: 1"=50'	
Project No: 17052.06	
Sheet No: 4	



Reilly
P.O. Box 867
Snohomish, WA 98296
Tel: 425.471.5111
Fax: 425.471.5111
www.Reilly.com

NO.	REVISIONS	DATE	APP'D



- LEGEND**
- □ EXISTING BUILDING
 - EXISTING STRIP
 - ZONING BOUNDARY
 - EXISTING EDGE PAVE
 - EXISTING WYELINE
 - EXISTING METALAGE
 - EXISTING CONTROL
 - BUILDING SETBACK / BUFFER LINE
 - PROPOSED BUILDING
 - PROPOSED ACCESS / UTILITY EASEMENT
 - PROPOSED LIGHT DUTY PAVING AREA
 - PROPOSED CONCRETE APRON / SIDEWALK
 - PROPOSED CURB
 - PROPOSED CHAINLINK FENCE
 - PROPOSED EASEMENT
 - PROPOSED FIRE WATER MAIN, VALVE, HYDRANT AND WELL
 - PROPOSED DOMESTIC WATER MAIN, VALVE AND WELL
 - PROPOSED UNDERGROUND ELECTRIC, CABLE AND TELEPHONE LINES
 - PROPOSED GAS SERVICE
 - PROPOSED SANITARY SEWER LATERAL & CLEANOUT

EXTENTS OF UPDATED TOPOGRAPHIC SURVEY BY RELLY ASSOCIATES

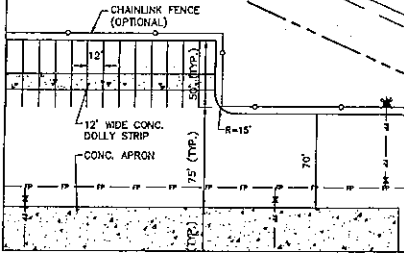
LOT 100 (NOT PART OF THIS SUBMISSION)

LOT 100 (NOT PART OF THIS SUBMISSION)



PENNSYLVANIA ACT 187 OF 1998 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL.
 PA ONE CALL SYSTEM SERIAL NUMBER: 2488838 PLACED ON 9/5/07 (LOT 100)
 PA ONE CALL SYSTEM SERIAL NUMBER: 2365888 PLACED ON 8/24/07 (LOT 110)
 SCALE: 0 50 100 FEET

EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EY
FINAL PLANS NEW VENTURES PARK LOT 110		Checked By: JPS
TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA		Approved By: CPM
LAND DEVELOPMENT PLAN		Date: 3/13/2018
		Project No.: 17052.DG
P.O. Box 651 Shrewsbury PA 17381 717.271.7171 100 N. 10TH ST. SUITE 200 YORK, PA 17403		Sheet No.: 5



NO.	REVISIONS	DATE	APP'D



CURB TO FACILITATE NEW DRIVEWAY

EXTENTS OF UPDATED TOPOGRAPHIC SURVEY BY REILLY ASSOCIATES

LPS CO MH #1
RIM: 1700.70
INV IN: 1695.77 2" IPS SDR 11 PE

EX 2" x 3"
SDA-26 3/16"
(APPROX)

CHAINLINK FENCE (OPTIONAL)

RESERVED TRAILER EXPANSION AREA

12' WIDE CONC. DOLLY STRIP
CONC. APRON

DUPLIX GRINDER PUMP
RIM: 1717.50
INV IN: 1708.69 8" SDR-35 PVC
CL OUT: 1703.00 2" IPS SDR 11 PE
8" SDR-35 PVC

10" C900 FIRE PROTECTION WATER LOOP & 8" LEAD-INS (TYP.)

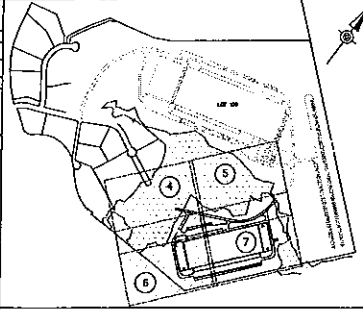
LOT 110 BUILDING
510,510 SQ. FT.

10" C900 FIRE PROTECTION WATER LOOP & 8" LEAD-INS (TYP.)

EXTENTS OF UPDATED TOPOGRAPHIC SURVEY BY REILLY ASSOCIATES

LANDSCAPE SCREEN 100' BUFFER

NO.	REVISIONS	DATE	APP'D



KEY MAP
1"=1,000'

LEGEND

- EXISTING BUILDING
- EXISTING SIDEWALK
- EXISTING SIDEWALK
- EXISTING EDGE PAVE
- EXISTING TIEBACK
- EXISTING METALRAIL
- EXISTING CURB
- BUILDING SETBACK / BUFFER LINE
- PROPOSED BUILDING
- PROPOSED ACCESS / UTILITY EASEMENT
- PROPOSED LIGHT DUTY PARKING AREA
- PROPOSED CONCRETE APRON / SIDEWALK
- PROPOSED CURB
- PROPOSED CHAINLINK FENCE
- PROPOSED EASEMENT
- PROPOSED FIRE WATER MAIN, VALVE, HYDRANT AND WELL
- PROPOSED DOMESTIC WATER MAIN, VALVE AND WELL
- PROPOSED UNDERGROUND ELECTRIC, CABLE, AND TELEPHONE LINES
- PROPOSED GAS SERVICE
- PROPOSED SANITARY SEWER LATERAL & CLEANOUT



PENNSYLVANIA ACT 187 OF 1996 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL.

PA ONE CALL SYSTEM SERIAL NUMBER: 2486633 PLACED ON 9/3/07 (LOT 100)

PA ONE CALL SYSTEM SERIAL NUMBER: 2365888 PLACED ON 9/24/07 (LOT 110)

SCALE: 0 50 100 FEET

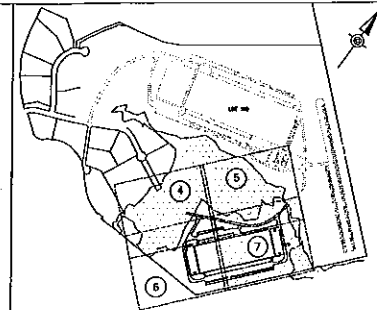
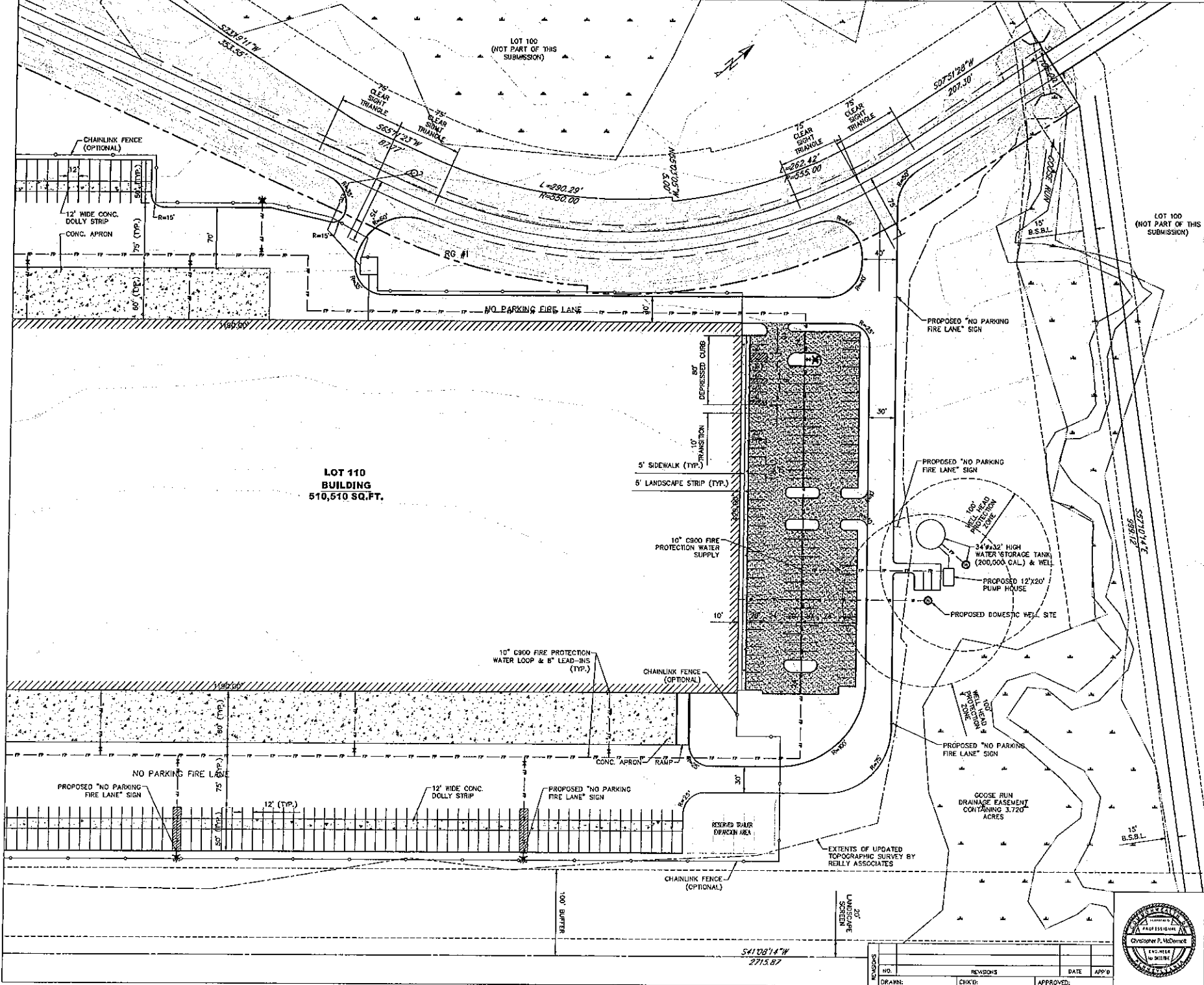
EXETER BLAKESLEE LOT 110 LAND LLC

FINAL PLANS
NEW VENTURES PARK
LOT 110
TOBYHANNA TOWNSHIP, MONROE COUNTY
PENNSYLVANIA

LAND DEVELOPMENT PLAN

Reilly
P.O. Box 187
Shrewsbury, PA 17360
Tel: 717-621-7319
www.reillyassoc.com

Drawn By: EY
Checked By: JFS
Approved By: CPM
Date: 3/13/2018
Scale: 1"=50'
Project No.: 17052.06
Sheet No.: 6



- LEGEND**
- EXISTING BUILDING
 - EXISTING STREET
 - ZONING BOUNDARY
 - EXISTING EDGE PAVEMENT
 - EXISTING DRIVEWAY
 - EXISTING SETBACK
 - BUILDING SETBACK / BUFFER LINE
 - PROPOSED BUILDING
 - PROPOSED ACCESS / UTILITY EASEMENT
 - PROPOSED LIGHT DUTY PAVING AREA
 - PROPOSED CONCRETE APRON / SIDEWALK
 - PROPOSED CURB
 - PROPOSED CHAINLINK FENCE
 - PROPOSED EASEMENT
 - PROPOSED FIRE WATER MAIN, VALVE, HYDRANT AND WELL
 - PROPOSED DOMESTIC WATER MAIN, VALVE AND WELL
 - PROPOSED UNDERGROUND ELECTRIC, CABLE, AND TELEPHONE LINES
 - PROPOSED GAS SERVICE
 - PROPOSED SANITARY SEWER LATERAL & CLEANOUT

SEAL OF THE PENNSYLVANIA ENGINEERING BOARD

PENNSYLVANIA ACT 187 OF 1986 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

PA ONE CALL SYSTEM SERIAL NUMBER: 2486838 PLACED ON 8/5/07 (LOT 100)
 PA ONE CALL SYSTEM SERIAL NUMBER: 2365888 PLACED ON 8/24/07 (LOT 110)

SCALE: 0 50 100 FEET

EXETER BLAKESLEE LOT 110 LAND LLC

FINAL PLANS
 NEW VENTURES PARK
 LOT 110
 TOBYHANNA TOWNSHIP, MONROE COUNTY
 PENNSYLVANIA

LAND DEVELOPMENT
 PLAN

Drawn By: EV
 Checked By: JPS
 Approved By: CFM
 Date: 3/13/2018
 Scale: 1"=50'
 Project No: 17052.06
 Sheet No: 7

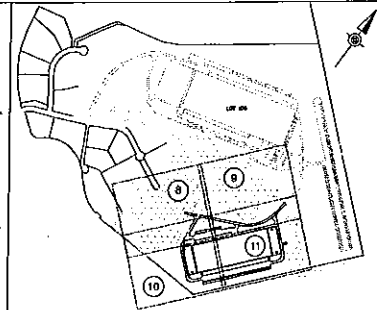
NO.	REVISIONS	DATE	APP'D

DRAWN: CHECKED: APPROVED:



**LOT 110
 BUILDING
 510,510 SQ.FT.**

541'08"14" W
 2715.87'



LEGEND

[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING STREAM
[Symbol]	EXISTING DRIVEWAY
[Symbol]	EXISTING CONC DRIVE
[Symbol]	EXISTING BIKEWAY
[Symbol]	EXISTING METLANDS
[Symbol]	EXISTING CONTOUR
[Symbol]	BUILDING SETBACK / BUFFER LINE
[Symbol]	SOILS BOUNDARY, DECODATOR
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED ACCESS / UTILITY EASEMENT
[Symbol]	PROPOSED LIGHT DUTY PARKING AREA
[Symbol]	PROPOSED CONCRETE APPROX / SIDEWALK
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED CHAINLINK FENCE
[Symbol]	PROPOSED EASEMENT
[Symbol]	PROPOSED FIRE WATER MAIN, VALVE, HYDRANT AND WELL
[Symbol]	PROPOSED DOMESTIC WATER MAIN, VALVE AND WELL
[Symbol]	PROPOSED UNDERGROUND ELECTRIC CABLE AND TELEPHONE LINES
[Symbol]	PROPOSED GAS SERVICE
[Symbol]	PROPOSED SANITARY SEWER LATERAL & CLEANOUT
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPOSED STORM PIPE, INLET, MANHOLE AND HEADWALL
[Symbol]	PROPOSED INFILTRATION BEAM
[Symbol]	PROPOSED INFILTRATION BEAM CONTOUR
[Symbol]	PROPOSED TREE LINE

- NOTES:**
- REFER TO THE BLOCK SOUNDING PLAN WORKING DRAWING DETILED "WORKING REPORT OF DESIGN AND STANDARD CONTROL FOR NEW VENTURES PARK LOTS 100 & 110 ACCORDING TO THE TOBYHANNA TOWNSHIP, MONROE COUNTY, DATED FEBRUARY 8, 2018 & SUBSEQUENT REVISIONS PREPARED BY REILLY ASSOCIATES CONSULTING ENGINEERS.
 - REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT DETILED "POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR NEW VENTURES PARK LOTS 100 & 110 ACCORDING TO THE TOBYHANNA TOWNSHIP, MONROE COUNTY, DATED FEBRUARY 8, 2018 & SUBSEQUENT REVISIONS PREPARED BY REILLY ASSOCIATES CONSULTING ENGINEERS.
 - THE GRADY FROM THE SITE DRAWS TO EXISTING RAIL A TREATMENT TREATMENT CREEK OR DIRECTLY TO TOBYHANNA CREEK, WHICH IS CLASSIFIED ON CHAPTER 83.02 AS A HIGH QUALITY COLD WATER FISH CREEK OR HQ-CWF.
 - EROSION & SEDIMENTATION POLLUTION CONTROL PLAN AND EROSION PERMIT HAVE PREVIOUSLY BEEN OBTAINED BY SITE CORPORATION FOR PORTIONS OF THE LOT 100 ACCESS DRIVE, STA. 146+00 TO 146+06.6, AND PORTION OF THE EROSION OF DOMESTIC DRIVE, STA. 146+00 TO 146+06.6. A WATER CONSTRUCTION & DEMOLITION PERMIT AND DEMOLITION OF THE U.S. ARMY CORPS OF ENGINEERS PERMIT HAS ALSO BEEN OBTAINED FOR THESE AREAS. ALL CONSTRUCTION WITHIN THESE AREAS SHALL BE IN ACCORDANCE WITH APPROVED PLANS AND PERMITS.
 - THE APPROXIMATE BEST MANAGEMENT PRACTICE LOCATIONS WITH THE DESIGNER TO BE CONSISTENT WITH THE EROSION CONTROL PLAN.
 - REMOVAL OF TREES SHALL BE LIMITED TO WHAT IS SHOWN ON THE PLANS.
 - OPERATIONS SURFACES NEXT TO BUILDINGS SHALL BE GRADED AWAY FROM BUILDING AT A MINIMUM GRADE OF 2% FOR 10 FEET AND GRASS SURFACES SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM GRADE OF 2% FOR 10 FEET.

SEAL OF THE COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 EXETER BLAKESLEE LOT 110 LAND LLC

PENNSYLVANIA ACT 187 OF 1988 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

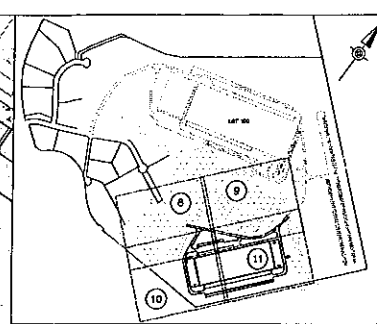
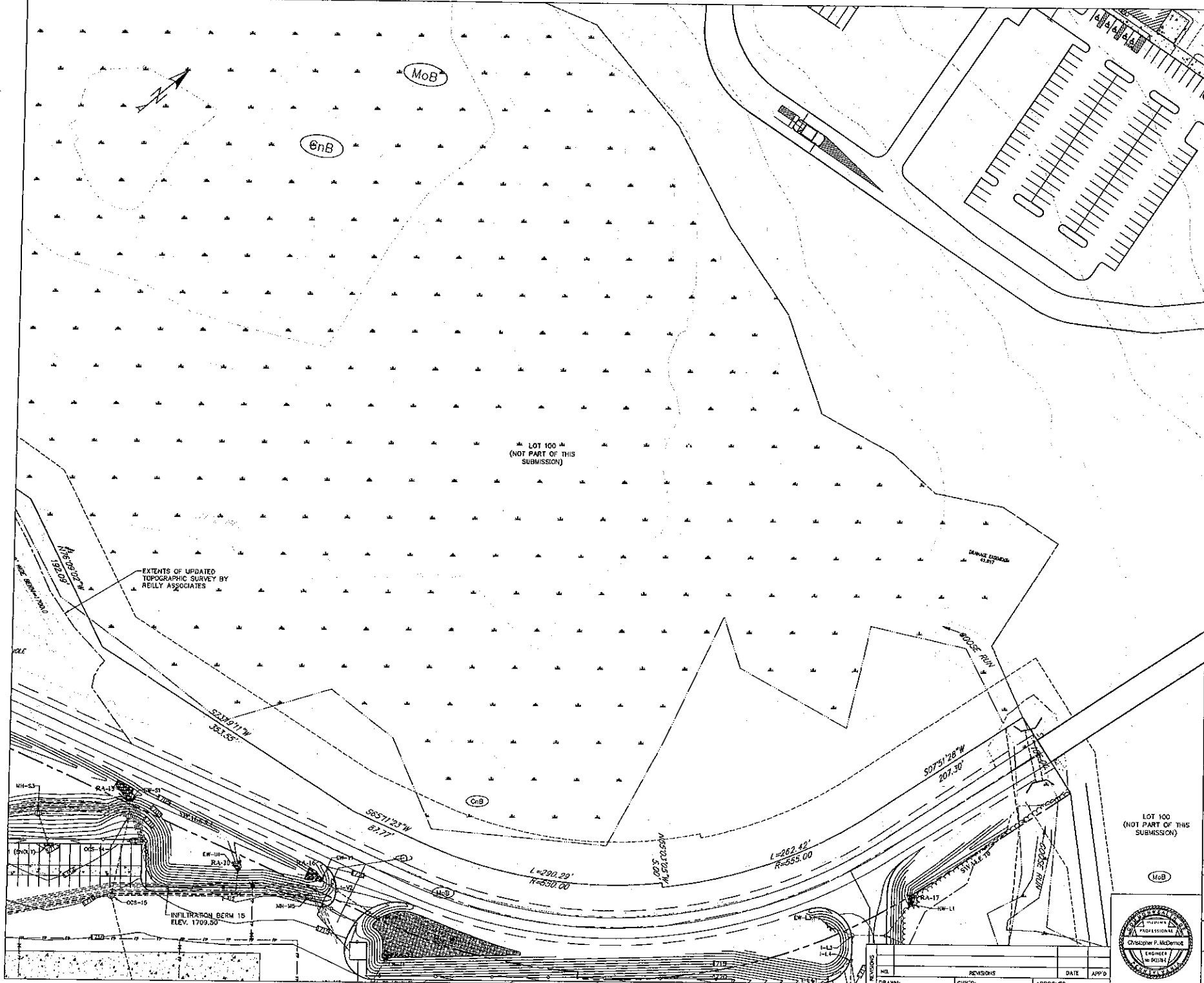
PA ONE CALL SYSTEM SERIAL NUMBER: 2555888 PLACED ON 9/24/09 (LOT 100)
 PA ONE CALL SYSTEM SERIAL NUMBER: 2555888 PLACED ON 8/24/09 (LOT 110)

SCALE: 0 50 100 FEET

EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EV
FINAL PLANS		Checked By: JPS
NEW VENTURES PARK		Approved By: CPM
LOT 110		Date: 3/13/2018
TOBYHANNA TOWNSHIP, MONROE COUNTY		Scale: 1"=50'
PENNSYLVANIA		Project No: 17052.06
GRADING AND DRAINAGE PLAN		Sheet No: 8



NO.	REVISIONS	DATE	APP'D
1	DRAIN		



KEY MAP
1"=1,000'

LEGEND

- EXISTING BUILDING
- EXISTING DRIVEWAY
- ZONING BOUNDARY
- EXISTING EDGE PAVE
- EXISTING DRIVELINE
- EXISTING INTERLACE
- EXISTING CONTOUR
- BUILDING SETBACK / BUFFER LINE
- SOILS BOUNDARY / DESIGNATOR

PROPOSED

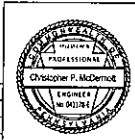
- PROPOSED BUILDING
- PROPOSED ACCESS / UTILITY EASEMENT
- PROPOSED LIGHT DUTY PARKING AREA
- PROPOSED CONCRETE APRON / SIDEWALK
- PROPOSED CURB
- PROPOSED CHAINLINK FENCE
- PROPOSED EASEMENT
- PROPOSED FIRE WATER MAIN, VALVE, HYDRANT AND WELL
- PROPOSED DOMESTIC WATER MAIN, VALVE AND WELL
- PROPOSED UNDERGROUND CLEWING, GABLE, AND TELEPHONE LINES
- PROPOSED GAS SERVICE
- PROPOSED SANITARY SEWER LATERAL & CLEANOUT
- PROPOSED CONTOUR
- PROPOSED STORM PIPE, INLET, MANHOLE AND HEADWALL
- PROPOSED INFILTRATION BERM
- PROPOSED INFILTRATION BERM CONTOUR
- PROPOSED TREELINE

- NOTES:**
- REFER TO THE EROSION CONTROL PLAN NARRATIVE ENTITLED "NARRATIVE REPORT ON EROSION AND SEDIMENTATION CONTROL FOR NEW VENTURES PARK, LOTS 100 & 110 ARIZONA PROPERTIES, LLC TOBYHANNA TOWNSHIP, MONROE COUNTY, DATED FEBRUARY 4, 2007 & SUBSEQUENT REVISIONS, PREPARED BY REILLY ASSOCIATES CONSULTING ENGINEERS.
 - REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT ENTITLED "POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR NEW VENTURES PARK, LOTS 100 & 110 ARIZONA PROPERTIES, LLC TOBYHANNA TOWNSHIP, MONROE COUNTY, DATED FEBRUARY 4, 2007 & SUBSEQUENT REVISIONS, PREPARED BY REILLY ASSOCIATES CONSULTING ENGINEERS.
 - THE BANKS FROM THE SITE DRAWING TO CROSS RAIL, A TRIBUTARY TOBYHANNA CREEK, OR DIRECTLY TO TOBYHANNA CREEK, WHICH IS CLASSIFIED ON CHAPTER 83.0 AS A HIGH QUALITY COLD WATER FISH CREEK OF 300 FEET.
 - EROSION & SEDIMENTATION POLLUTION CONTROL PLAN AND IMPACT REPORT HAVE PREVIOUSLY BEEN OBTAINED BY THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PORTIONS OF THE EXTENSION OF COMMONWEALTH ACT 24, 1954 (AS TO 40300A, A WATER DISTRIBUTION & IMPROVEMENT PROJECT AND EXTENSION OF THE 403 JAWN SUPPLY OF COMMONWEALTH PENN. WAS ALSO OBTAINED FOR WELLS AND STREAM CROSSINGS. ALL CONSTRUCTION WITH THESE AREAS SHALL BE IN ACCORDANCE WITH APPROVED PLANS AND PERMITS.
 - THE ACCESSORY BUILT STRUCTURE, ROOF LEAKS LOCATIONS WITH THE ENGINEER TO BE CONSISTENT WITH THE RAIN DRAINAGE AREA MAPS.
 - REMOVAL OF TREES SHALL BE LIMITED TO WHAT IS SHOWN ON THE PLANS.
 - NECESSARY SURFACES NEXT TO BUILDING SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM GRADE OF 2% FOR 10 FEET AND CHANGING SURFACES SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM GRADE OF 5% FOR 10 FEET.

PROFESSIONAL ENGINEER

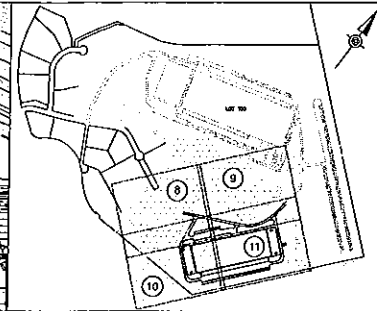
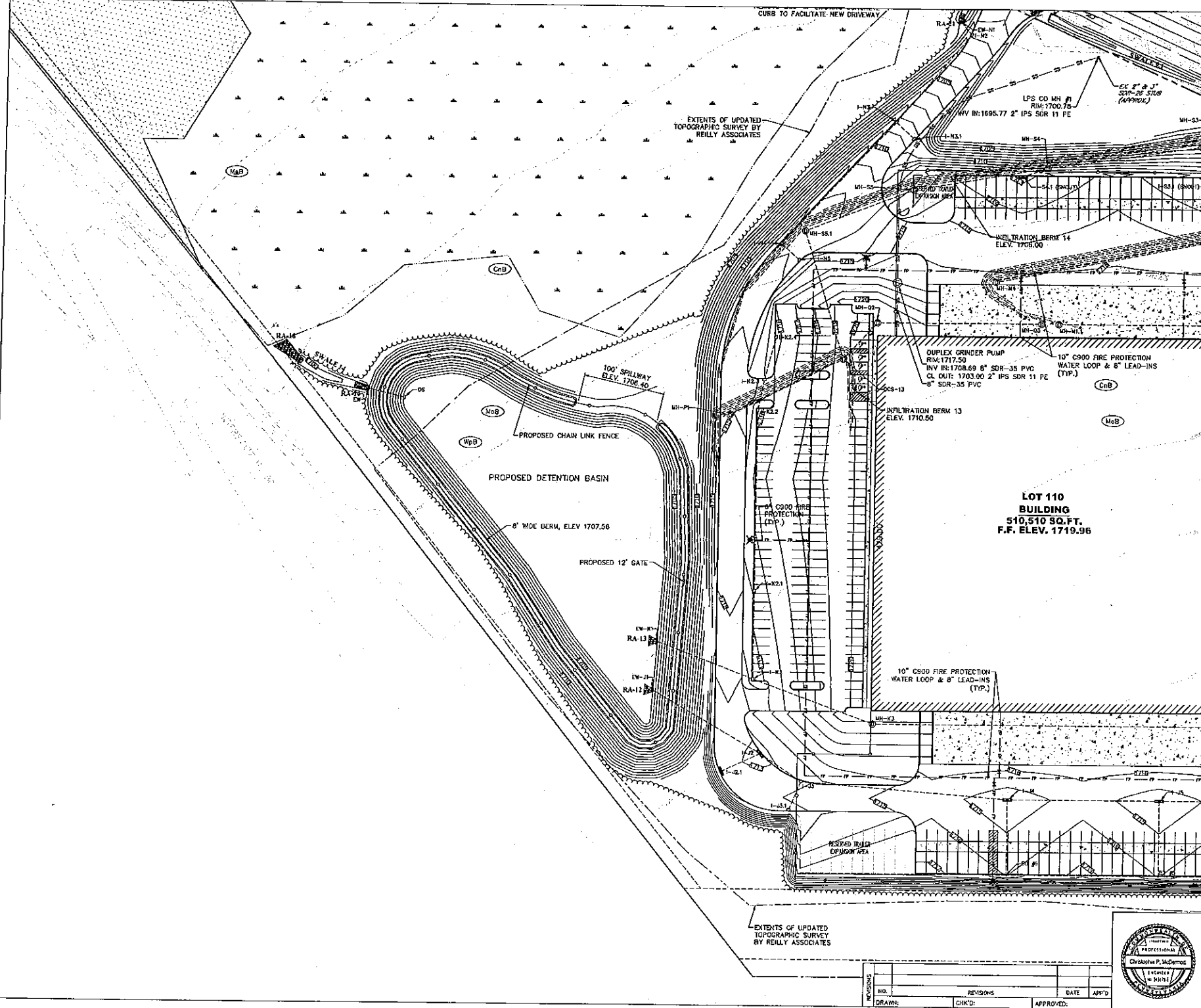
 PENNSYLVANIA ACT 187 OF 1998 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL.
 PA ONE CALL SYSTEM SERIAL NUMBER: 2486838 PLACED ON 9/5/07 (LOT 100)
 PA ONE CALL SYSTEM SERIAL NUMBER: 2305688 PLACED ON 8/24/07 (LOT 110)
 SCALE: 0 50 100 FEET

EXETER BLAKESLEE LOT 110 LAND LLC	
FINAL PLANS NEW VENTURES PARK LOT 110 TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA	
Drawn By: EV	Checked By: JPS
Approved By: Date: 3/13/2018	Scale: 1"=50'
Project No. 17052.06	Sheet No. 9



NO.	REVISIONS	DATE	APP'D

DRAWN: _____



KEY MAP
1"=1,000'

LEGEND

- [Symbol] EXISTING BUILDING
- [Symbol] EXISTING STREAM
- [Symbol] ZONING BOUNDARY
- [Symbol] EXISTING EDGE PAVE
- [Symbol] EXISTING TIE LINE
- [Symbol] EXISTING WELLS
- [Symbol] EXISTING CONTOUR
- [Symbol] BUILDING SETBACK / BUFFER LINE
- [Symbol] SOILS BOUNDARY / DECORATION

[Symbol] PROPOSED BUILDING

[Symbol] PROPOSED ACCESS / UTILITY EASEMENT

[Symbol] PROPOSED LIGHT UTILITY PARKING AREA

[Symbol] PROPOSED CONCRETE APRON / SIDEWALK

[Symbol] PROPOSED CURB

[Symbol] PROPOSED CHAINLINK FENCE

[Symbol] PROPOSED EASEMENT

[Symbol] PROPOSED FIRE WATER MAIN, VALVE, HYDRANT AND WELL

[Symbol] PROPOSED DOMESTIC WATER MAIN, VALVE AND WELL

[Symbol] PROPOSED UNDERGROUND ELECTRIC, CABLE, AND TELEPHONE LINES

[Symbol] PROPOSED GAS SERVICE

[Symbol] PROPOSED SANITARY SEWER LATERAL & CLEANSOUT

[Symbol] PROPOSED CONTOUR

[Symbol] PROPOSED STORM PIPE, SILET, MANHOLE AND HEADWALL

[Symbol] PROPOSED INFILTRATION BERM

[Symbol] PROPOSED INFILTRATION BERM CONTOUR

[Symbol] PROPOSED TREE LINE

- NOTES:**
- REFER TO THE EROSION CONTROL PLAN MARKING DETILED "WASHING REPORT ON EROSION AND SEDIMENTATION CONTROL FOR NEW VENTURES PARK, LOTS 100 & 110 AERON PROPRIETES, LLC TOWNSHIP, MONROE COUNTY, DATED FEBRUARY 1, 2007 & SUBSEQUENT REVISIONS, PREPARED BY REILLY ASSOCIATES CONSULTING ENGINEERS.
 - REFER TO THE SOIL CONSTRUCTION MANAGEMENT PLAN DETILED "SOIL CONSTRUCTION MANAGEMENT REPORT FOR NEW VENTURES PARK, LOTS 100 & 110 AERON PROPRIETES, LLC TOWNSHIP, MONROE COUNTY, DATED FEBRUARY 1, 2007 & SUBSEQUENT REVISIONS, PREPARED BY REILLY ASSOCIATES CONSULTING ENGINEERS.
 - THE REPORT FROM THE SITE DRAINAGE TO GEORGE RIVER, A TRIBUTARY TO THE PAOLI CREEK, OR DIRECTLY TO THE PAOLI CREEK, WHICH IS CLASSIFIED ON CHAPTER 100 AS A HIGH QUALITY COLD WATER FISH CREEK OR RIVER.
 - EROSION & SEDIMENTATION POLLUTION CONTROL PLAN AND IMPACT REPORT HAVE PREVIOUSLY BEEN OBTAINED BY SITE CONSTRUCTION FOR PORTIONS OF THE LOT 100 ACCESS DRIVE, STA. 10+00 TO 14+00, AND PORTIONS OF THE EXTENSION OF COMMERICAL BLDG. STA. 12+50 TO 14+50, & WATER DISTRIBUTION & DISCHARGEMENT FROM THE LOT 100 CURVE OF BUSINESS FRONT. THIS WAS ALSO OBTAINED FOR WETLAND AND STREAM CROSSINGS. ALL CONSTRUCTION WITHIN THESE AREAS SHALL BE IN ACCORDANCE WITH APPROVED PLANS AND PROVISIONS.
 - THE PROPOSED WOOD SHED ROOF LEADER LOCATIONS WITH THE DOWNSPUTTER TO BE CONSISTENT WITH THE PAULI DRAINAGE AREA MAPS.
 - ROOFING OF THESE SHALL BE LIMITED TO WHAT IS SHOWN ON THE PLANS.
 - TERMINUS SURFACES ADJACENT TO BUILDING SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM GRADE OF 2% FOR 10 FEET AND GRADING SURFACES SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM GRADE OF 5% FOR 10 FEET.



PENNSYLVANIA ACT 187 OF 1988 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL

PA ONE CALL SYSTEM SERIAL NUMBER: 2468838 PLACED ON 8/5/07 (LOT 100)

PA ONE CALL SYSTEM SERIAL NUMBER: 2365888 PLACED ON 8/24/07 (LOT 110)

SCALE: 0 50 100 FEET

EXETER BLAKESLEE LOT 110 LAND LLC

FINAL PLANS
NEW VENTURES PARK
LOT 110
TCBYHANNA TOWNSHIP, MONROE COUNTY
PENNSYLVANIA

GRADING AND DRAINAGE PLAN

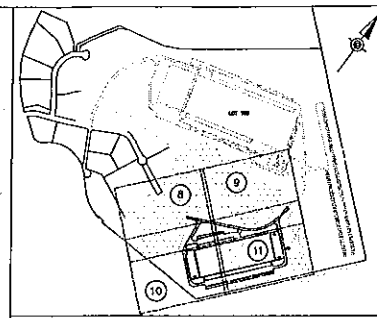
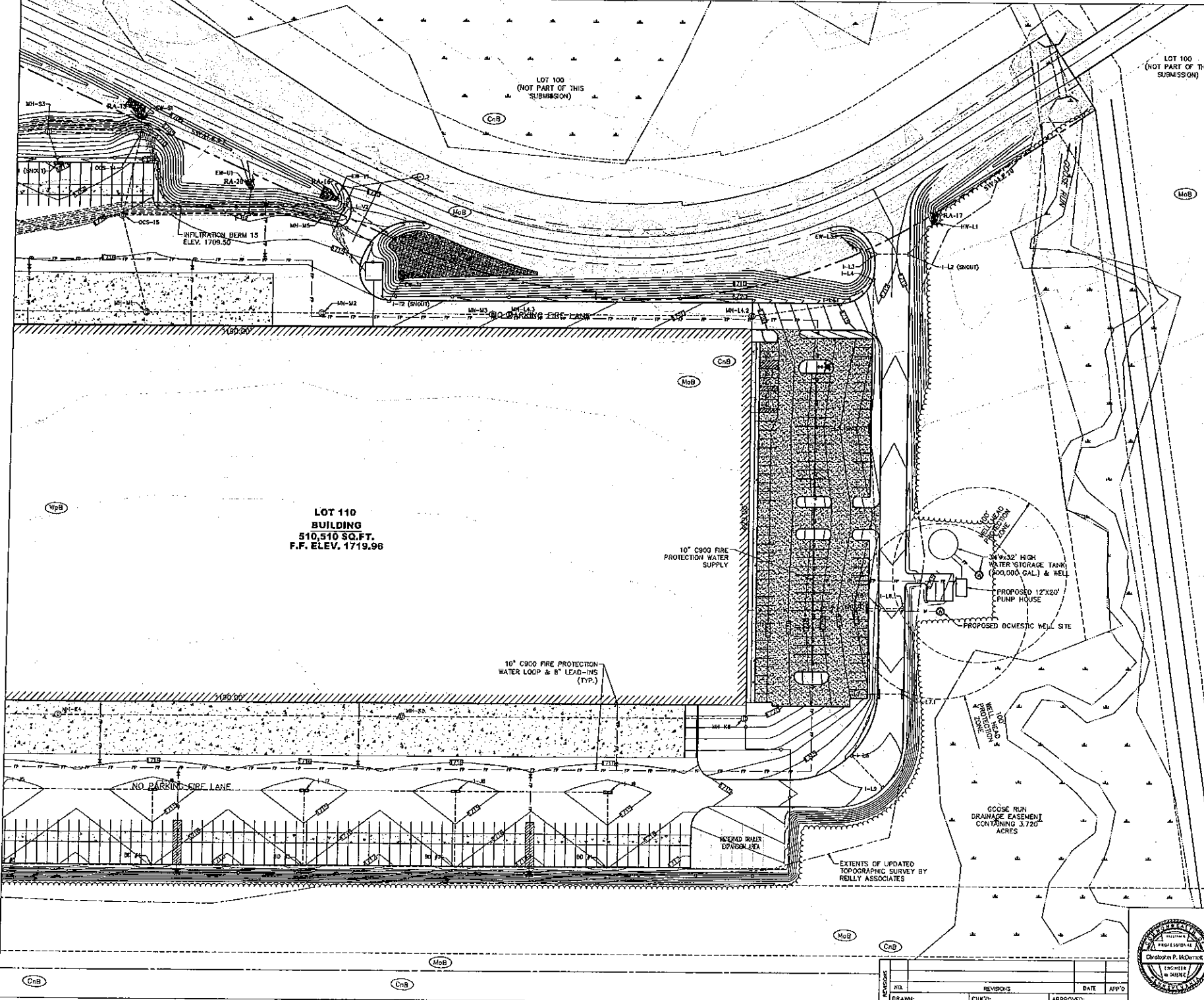
Drawn By:	EV
Checked By:	JFS
Approved By:	CPM
Date:	3/13/2018
Scale:	1"=50'
Project No.:	17052.06
Sheet No.:	10

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NO.	REVISIONS	DATE	APP'D

DRAWN: _____ CHK'D: _____ APPROVED: _____





- LEGEND**
- EXISTING BUILDING
 - EXISTING STREAM
 - ZONING BOUNDARY
 - EXISTING EDGE PAVE
 - EXISTING TIE LINE
 - EXISTING UTILITY
 - EXISTING CONVEY
 - BUILDING SETBACK / BUFFER LINE
 - SOILS BOUNDARY DESIGNATOR
- PROPOSED BUILDING
- PROPOSED ACCESS / UTILITY EASEMENT
- PROPOSED LIGHT DUTY PAVING AREA
- PROPOSED CONCRETE APPROX / SIDEWALK
- PROPOSED CURB
- PROPOSED CHAINLINK FENCE
- PROPOSED EASEMENT
- PROPOSED FIRE WATER MAIN VALVE, HYDRANT AND WELL
- PROPOSED DOMESTIC WATER MAIN VALVE AND WELL
- PROPOSED UNDERGROUND ELECTRIC, CABLE, AND TELEPHONE LINES
- PROPOSED GAS SERVICE
- PROPOSED SANITARY SEWER LATERAL & CLEANOUT
- PROPOSED CONTOUR
- PROPOSED STORM PIPE, WILEY, MANHOLE AND HEADWALL
- PROPOSED INFILTRATION BERM
- PROPOSED INFILTRATION BERM CONTOUR
- PROPOSED TREE LINE

- NOTES:**
- REFER TO THE DESIGN CONTROL PLAN HERETOFORE DETAILED INCLUDING REPORT ON EROSION AND SEDIMENTATION CONTROL FOR NEW VENTURES PARK, LOTS 100 & 110 AROXIA PROPERTIES, LLC TOBYHANNA TOWNSHIP, MONROE COUNTY, DATED FEBRUARY 4, 2008 & SUBSEQUENT REVISIONS, PROVIDED BY REILLY ASSOCIATED CONSULTING ENGINEERS.
 - REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT DETAILED POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR NEW VENTURES PARK, LOTS 100 & 110 AROXIA PROPERTIES, LLC TOBYHANNA TOWNSHIP, MONROE COUNTY, DATED FEBRUARY 4, 2008 & SUBSEQUENT REVISIONS, PROVIDED BY REILLY ASSOCIATED CONSULTING ENGINEERS.
 - THE RUNOFF FROM THE SITE SHALL BE STORED IN A TERTIARY TERTIARY TANK OR DIRECTLY TO TOBYHANNA CREEK, WHICH IS CLASSIFIED ON CHAPTER 88 AS A HIGH QUALITY COLD WATER FISH CREEK OR RIVER.
 - EROSION & SEDIMENTATION POLLUTION CONTROL PLAN AND SPICES PERMIT HAVE PREVIOUSLY BEEN OBTAINED BY SITE CORPORATION FOR PORTIONS OF THE LOT 100 ACCESS DRIVE, STA. 10+00 TO 14+00, AND PORTION OF THE SUBDIVISION OF COMMERCE BLVD., STA. 12+00 TO 14+00. A WATER CONSTRUCTION & DEMONSTRATION PERMIT AND DEPARTMENT OF THE U.S. ARMY CORPS OF ENGINEERS PERMIT HAS ALSO BEEN OBTAINED FOR EROSION AND SEDIMENT CONTROL. ALL CONSTRUCTION WORK HEREAFTER SHALL BE IN ACCORDANCE WITH APPROVED PLANS AND PERMITS.
 - THE ARCHITECT MUST COORDINATE ROOF LEADER LOCATIONS WITH THE ENGINEER TO BE CONSISTENT WITH THE ALLOWED DRAINAGE AREA.
 - REMOVAL OF TREES SHALL BE LIMITED TO WHAT IS SHOWN ON THE PLANS.
 - ADJACENT SURFACES NEXT TO BUILDING SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM GRADE OF 2% FOR 10 FEET AND GROUND SURFACES SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM GRADE OF 6% FOR 10 FEET.



PENNSYLVANIA ACT 187 OF 1988 REQUIRES 3 WORKING DAYS FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL.

PA ONE CALL SYSTEM SERIAL NUMBER: 248638 PLACED ON 8/5/07 (LOT 100)

PA ONE CALL SYSTEM SERIAL NUMBER: 236588 PLACED ON 8/24/07 (LOT 110)

SCALE: 0 50 100 FEET

EXETER BLAKESLEE LOT 110 LAND LLC	
Drawn By: EY	Checked By: JPS
Approved By: CFM	Date: 3/13/2018
Scale: 1"=50'	Project No. 17052.06
Sheet No. 11	



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**LOT 110
BUILDING
510,510 SQ.FT.**

NOTE: NATURAL VEGETATION TO BE MAINTAINED IN BUFFER STRIP. ALL STORMWATER FACILITIES, BASINS, SWALES, ARE TO BE STABILIZED WITH VEGETATION OR OTHER METHODS AS PER THE POSM AND EMS PLANS. OWNER SHALL PLANT GRASS IN OTHER LAWN AREAS AND PLANT TREES, SHRUBS AND OTHER PLANTINGS AT THEIR DISCRETION.

PROPOSED FIXTURE TYPE (TYP.)
PROPOSED FIXTURE (TYP.)
PROPOSED FIXTURE MOUNTING HEIGHT (MH) (TYP.)

100' BUFFER STRIP TO BE MAINTAINED. NATURAL VEGETATION TO BE MAINTAINED

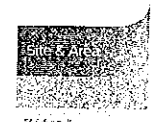
Luminaire Schedule

Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens
36		WP	0.900	161-46L-900-NW-G2-4	138	14022
3		PM 2	0.900	ECF-S-64L-1A-NW-G2-2	205.9	24467
19		PM 3	0.900	ECF-L-96L-1_2A-NW-G2-4-HIS	365	32751

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Max/Min
Larger Employee Lot	Illuminance	Fc	1.25	3.0	0.7	4.29
Larger Loading Dock	Illuminance	Fc	1.40	4.3	0.1	43.00
Left End Roadway	Illuminance	Fc	1.06	4.1	0.6	6.83
NW Intersector	Illuminance	Fc	1.31	4.2	0.2	21.00
Right End Roadway	Illuminance	Fc	1.69	4.2	0.6	7.00
Smaller Employee Lot	Illuminance	Fc	1.27	3.8	0.6	6.33
Smaller Loading Dock	Illuminance	Fc	1.39	4.1	0.5	8.20

PHILIPS
GARDCO

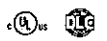


(OR APPROVED EQUAL)

PHILIPS
GARDCO

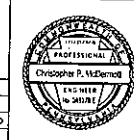


(OR APPROVED EQUAL)



SCALE: 0 80 160 FEET

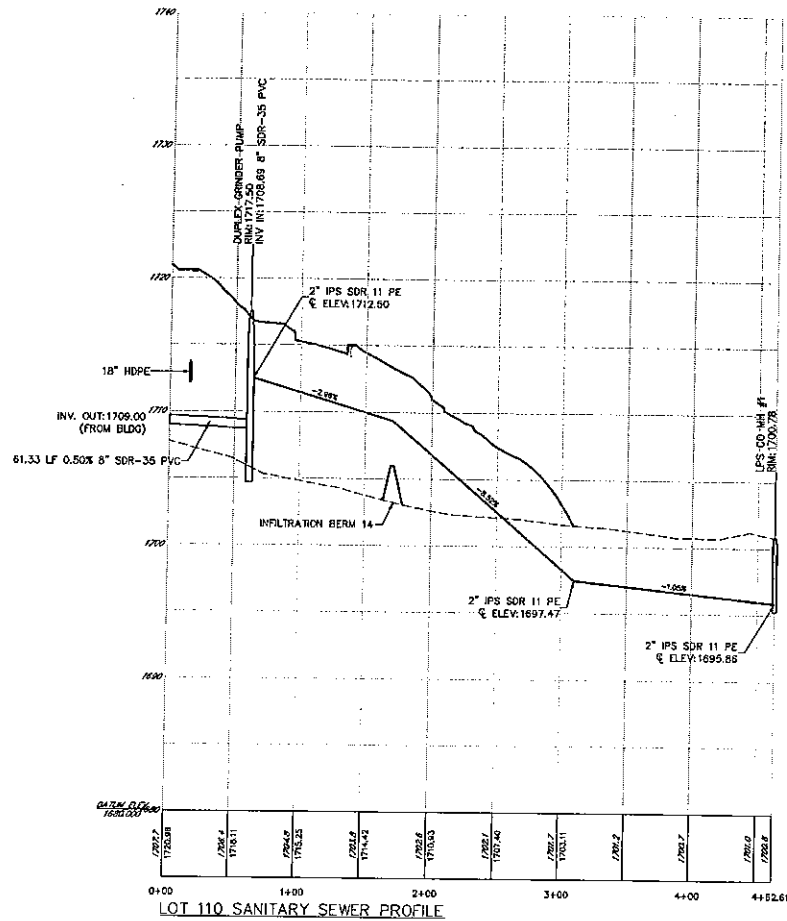
EXETER BLAKESLEE LOT 110 LAND LLC	
FINAL PLANS NEW VENTURES PARK LOT 110 TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA	
LIGHTING AND LANDSCAPE PLAN	
Drawn By: EY	Checked By: JPS
Approved By: CPM	Date: 3/13/2018
Scale: 1"=80'	Project No. 17052.06
Sheet No. 12	



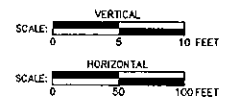
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DRNTH: CHK'D: APPROVED:

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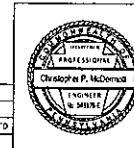


LOT 110 SANITARY SEWER PROFILE



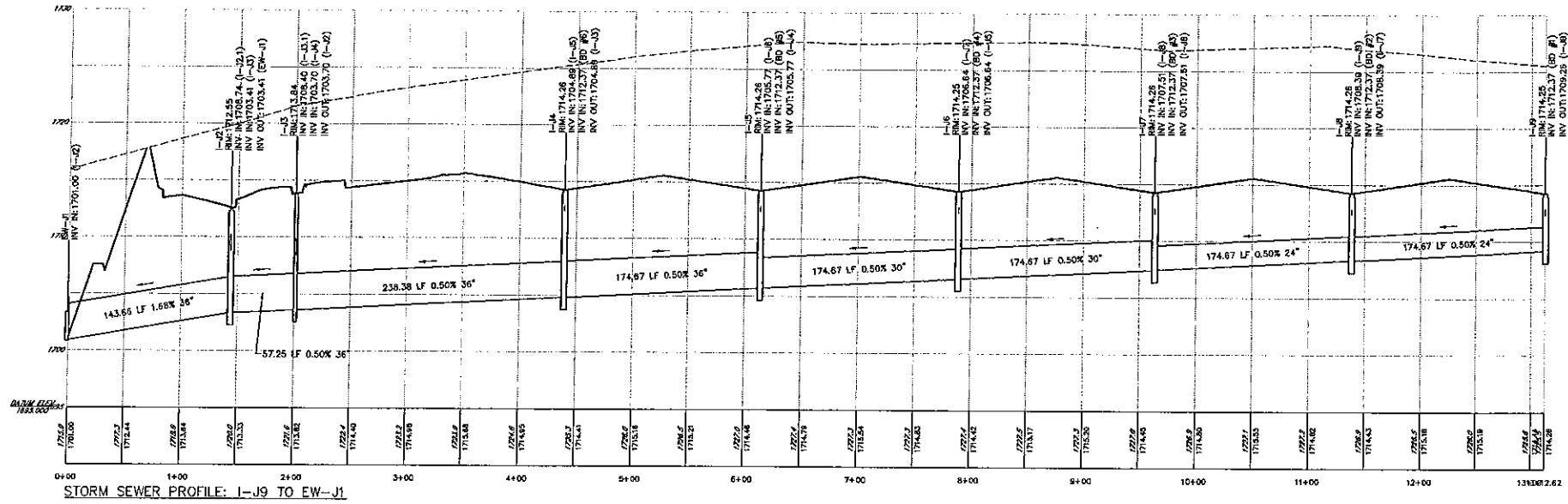
NO.	REVISIONS	DATE	APP'D

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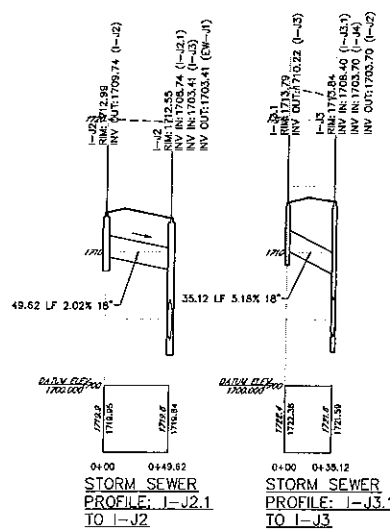


EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EV
FINAL PLANS NEW VENTURES PARK LOT 110 TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA		Checked By: JPS
PROFILES		Approved By: CFM
		Date: 3/13/2018
		Scale: AS NOTED
		Project No: 17052.06
		Sheet No: 13





STORM SEWER PROFILE: I-J9 TO EW-J1



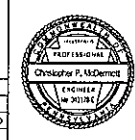
STORM SEWER PROFILE: I-J2.1 TO I-J2

STORM SEWER PROFILE: I-J3.1 TO I-J3

ALL STORM SEWER PIPES ARE SLE.P.P. (UNLESS OTHERWISE NOTED)
 ALL STORMWATER INLETS AND MANHOLES TO HAVE 8" SLOPE PIPES, UNLESS NOTED WITH A SHOW, SEE DETAILS

VERTICAL
 SCALE: 0 5 10 FEET

HORIZONTAL
 SCALE: 0 50 100 FEET



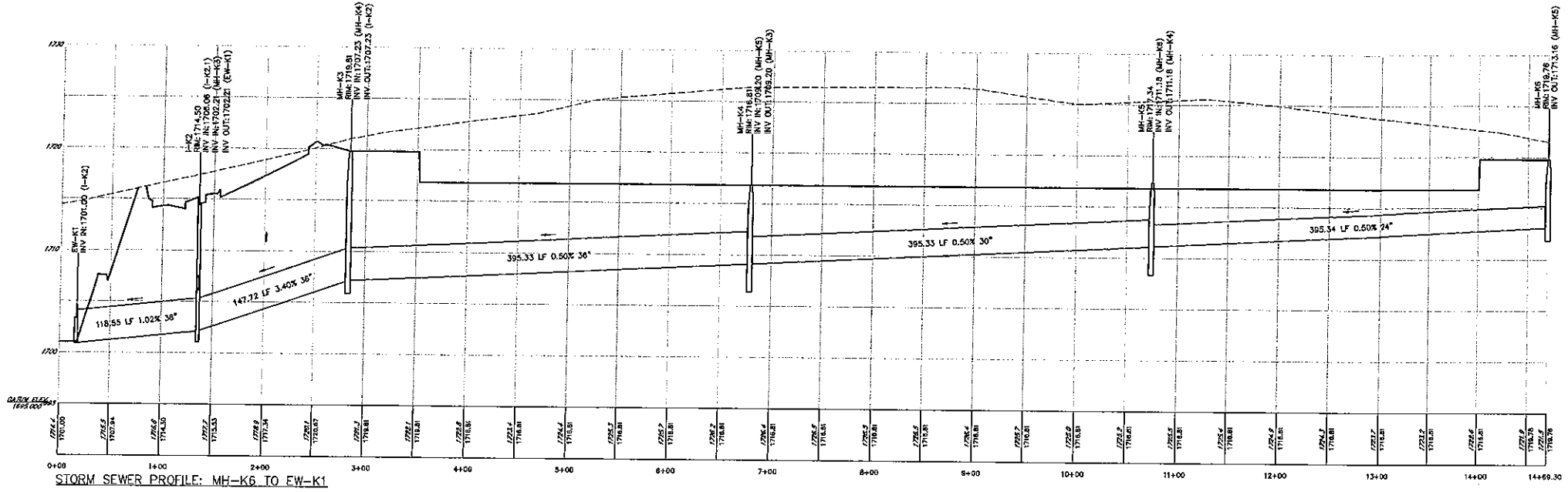
EXETER BLAKESLEE LOT 110 LAND LLC
 FINAL PLANS
 NEW VENTURES PARK
 LOT 110
 TOBYHANNA TOWNSHIP, MONROE COUNTY
 PENNSYLVANIA

STORMWATER PROFILES

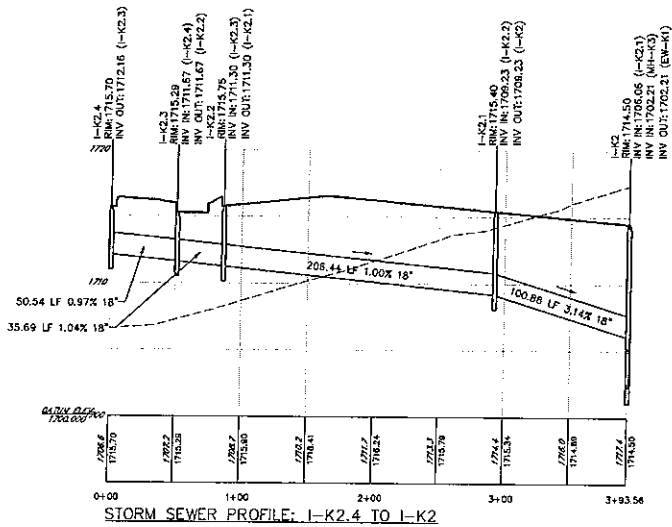
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Drawn By: EV
 Checked By: JPS
 Approved By: CPM
 Date: 3/13/2018
 Scale: AS NOTED
 Project No.: 17052.06
 Sheet No.: 14

NO.	REVISIONS	DATE	APP'D

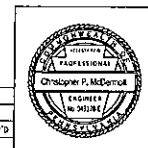


STORM SEWER PROFILE: MH-K6 TO EW-K1



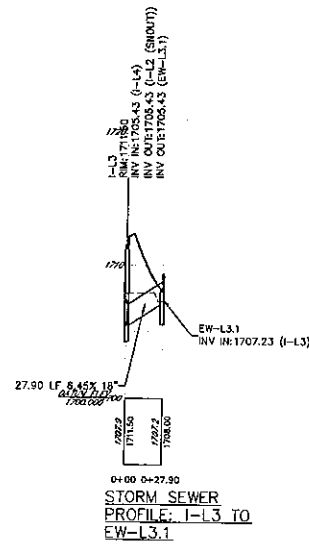
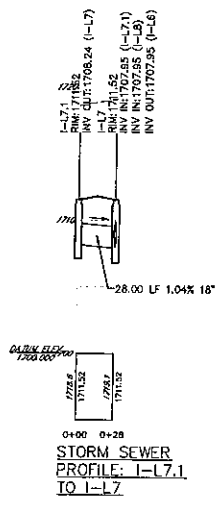
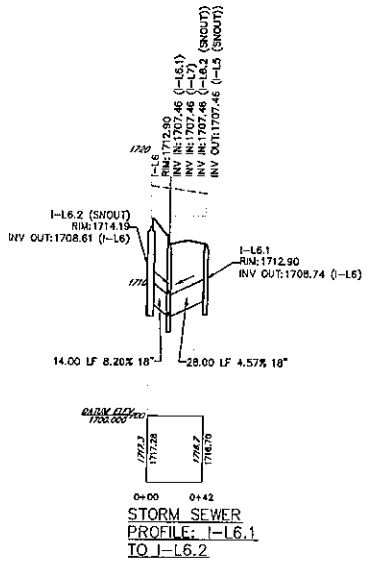
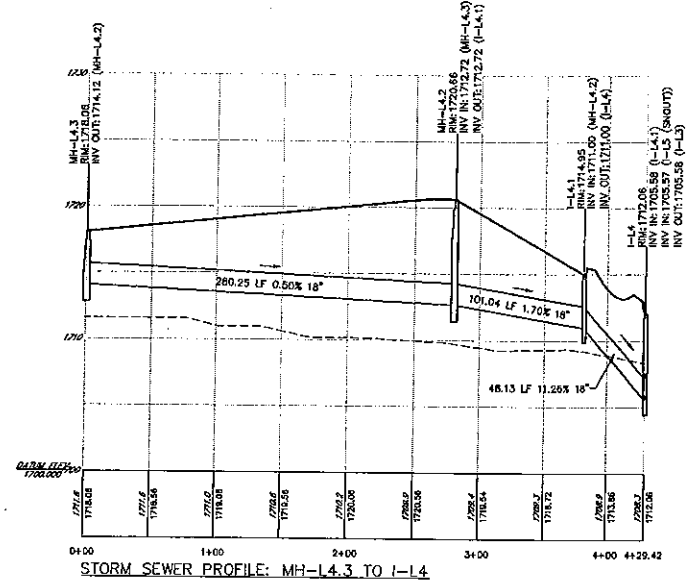
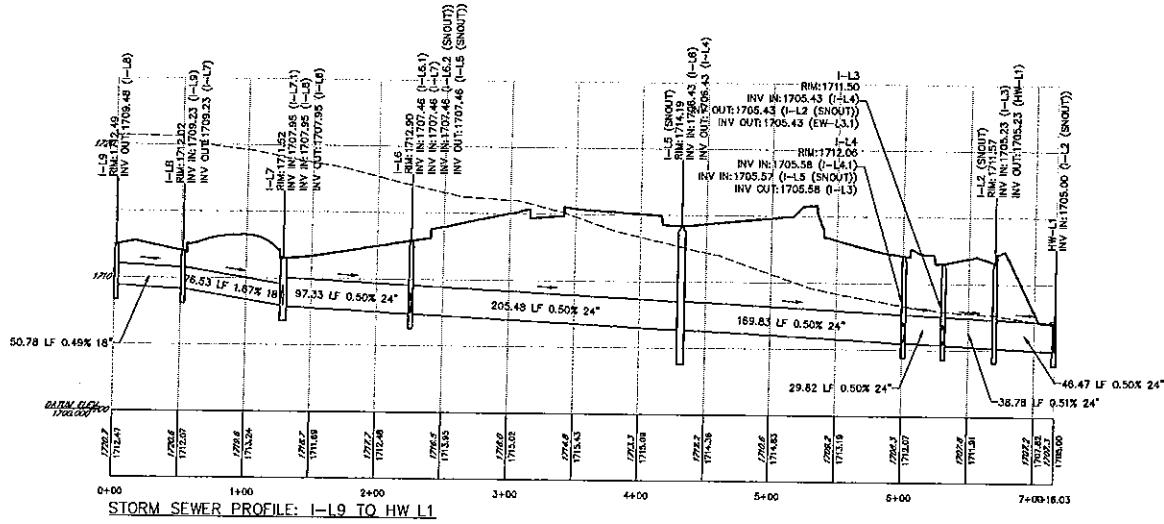
STORM SEWER PROFILE: I-K2.4 TO I-K2

ALL STORM SEWER PIPES ARE S.L.C.P.P. (UNLESS OTHERWISE NOTED)
 ALL STORMWATER INLETS AND MANHOLES TO HAVE 6" SUMP (S2), UNLESS FITTED WITH A SUMP, SEE DETAILS
 VERTICAL SCALE: 0 5 10 FEET
 HORIZONTAL SCALE: 0 50 100 FEET



EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EV
FINAL PLANS NEW VENTURES PARK LOT 110		Checked By: JPS
TOBYHANNA TOWNSHIP, MCHIROE COUNTY PENNSYLVANIA		Approved By: CFM
STORMWATER PROFILES		Date: 3/13/2018
 P.O. Box 567 Swedeburg, PA 18158 Tel: 610-447-2729 www.reillyinc.com		Scale: AS NOTED
PROJECT NO. 17052.06 SHEET NO.		15

NO.	REVISIONS	DATE	APP'D



ALL STORM SEWER PIPES ARE S.L.C.P.P. (UNLESS OTHERWISE NOTED)
 ALL STORMWATER INLETS AND MANHOLES TO HAVE 4" SAND BALL, UNLESS FITTED WITH A SNOOT, SEE DETAILS

SCALE: VERTICAL 0 5 10 FEET
 SCALE: HORIZONTAL 0 50 100 FEET

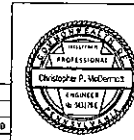
EXETER BLAKESLEE LOT 110 LAND LLC

FINAL PLANS
 NEW VENTURES PARK
 LOT 110
 TOBYHAINA TOWNSHIP, MONROE COUNTY
 PENNSYLVANIA

STORMWATER PROFILES

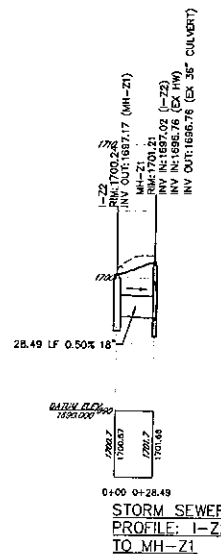
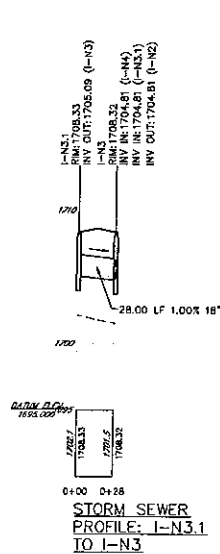
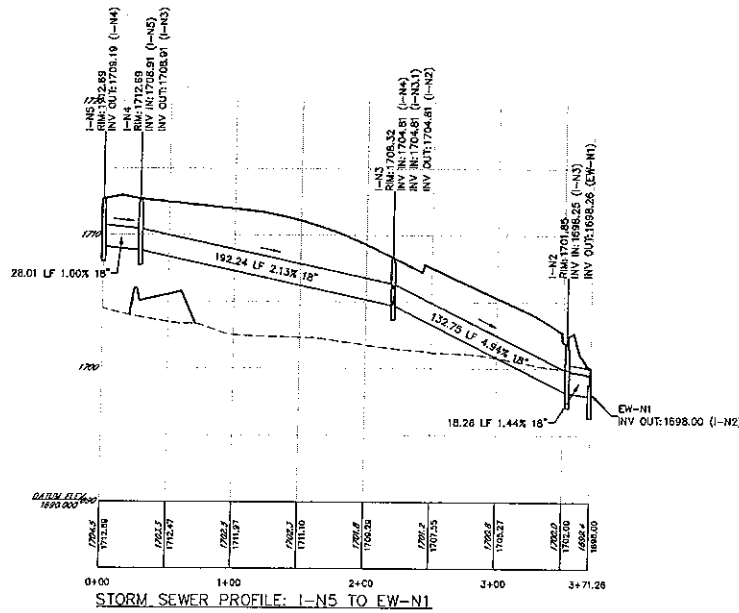
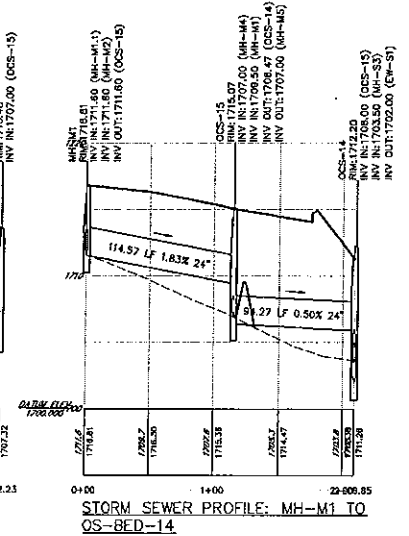
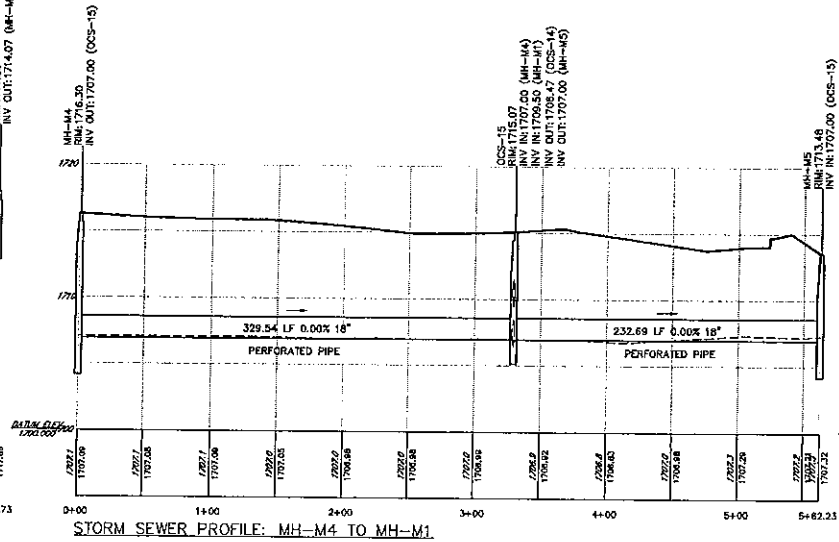
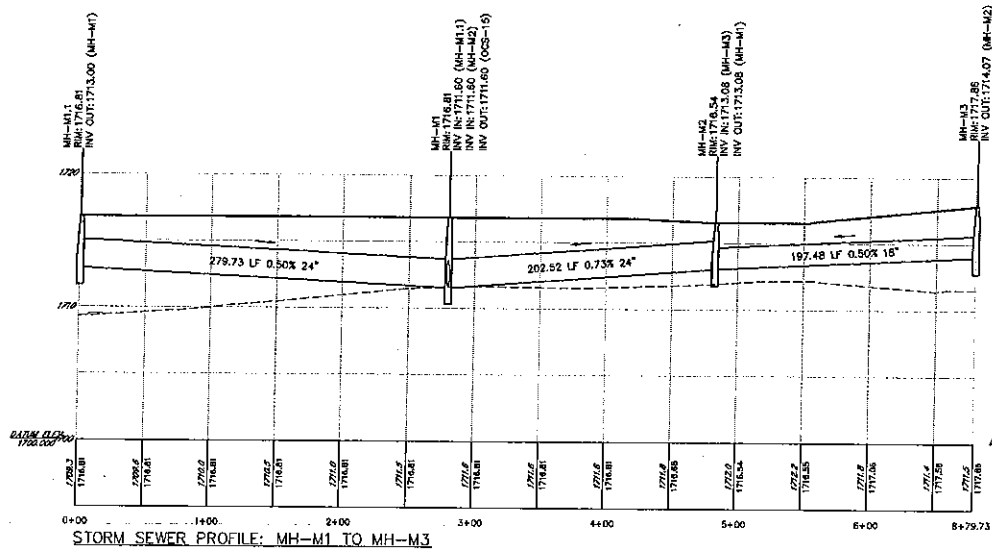
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Drawn By: EV
Checked By: JPS
Approved By: CPW
Date: 3/13/2018
Scale: AS NOTED
Project No: 17052.06
Sheet No: 16



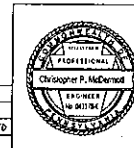
NO.	REVISIONS	DATE	APP'D

DRAWN: CHK'D: APPROVED:



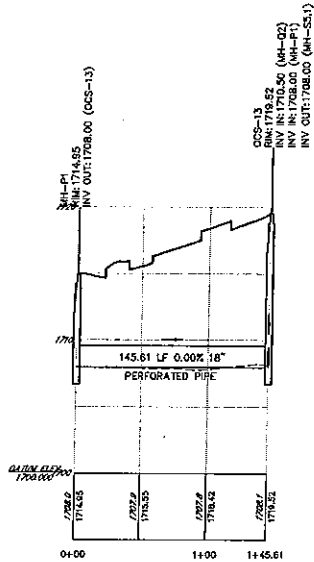
ALL STORM SEWER PIPES ARE S.C.P.P. UNLESS OTHERWISE NOTED.
 ALL STORMWATER INLETS AND MANHOLES TO HAVE 6" SUMP (UNL) UNLESS FITTED WITH A SLOUT. SEE DETAILS.
 VERTICAL SCALE: 0 5 10 FEET
 HORIZONTAL SCALE: 0 50 100 FEET

NO.	REVISIONS	DATE	APP'D

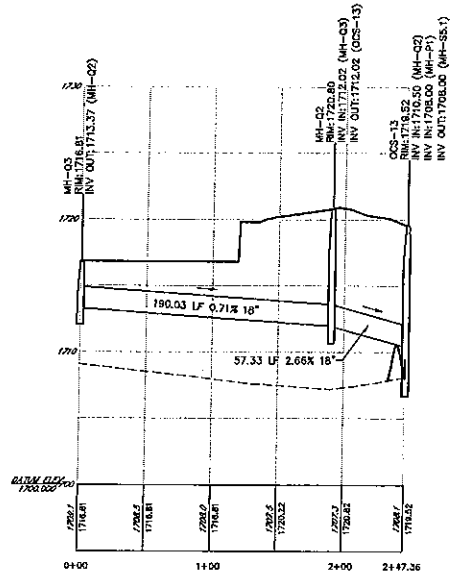


EXETER BLAKESLEE LOT 110 LAND LLC	
FINAL PLANS NEW VENTURES PARK LOT 110 TOBYHANNA TOWNSHIP, MCGUIRE COUNTY PENNSYLVANIA	
STORMWATER PROFILES	
Drawn By: EV	Checked By: JPS
Approved By: CPM	Date: 3/13/2018
Scale: AS NOTED	Project No: 17052.06
Sheet No: 17	

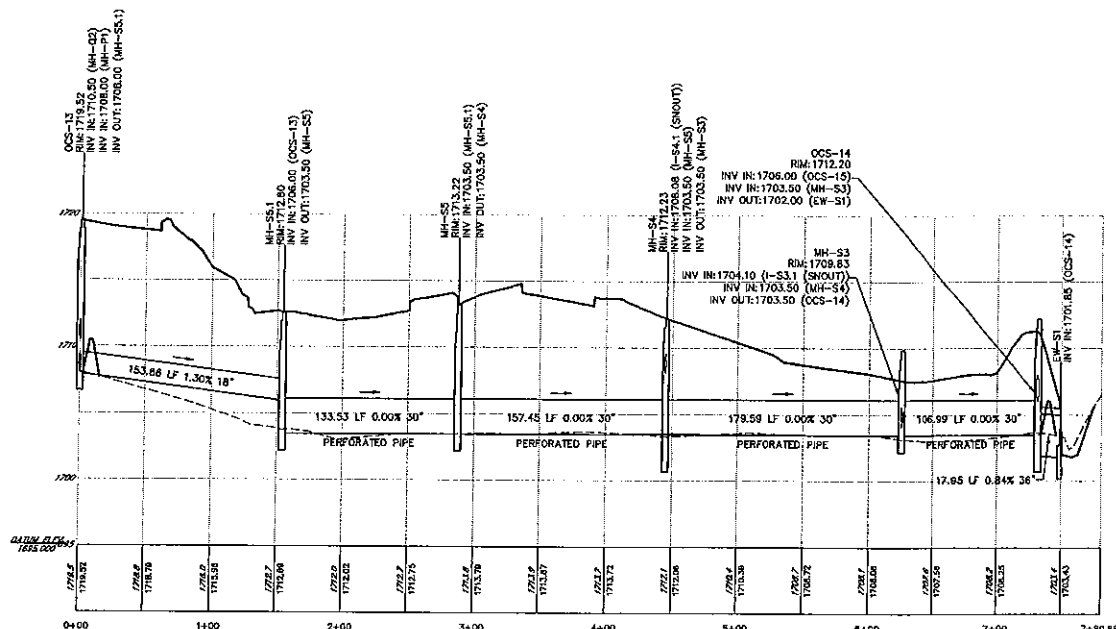
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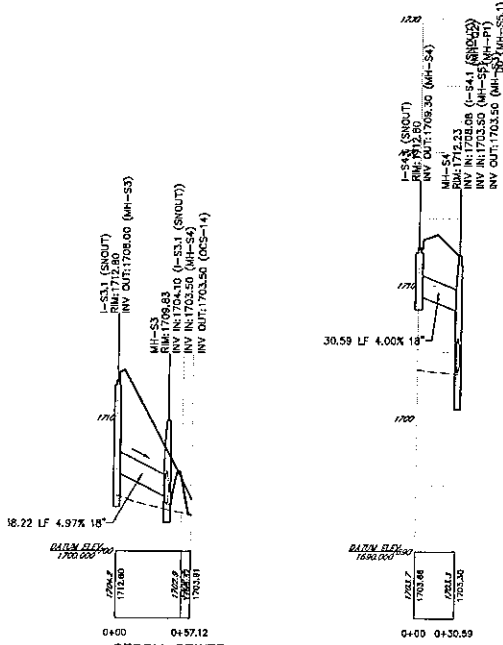
STORM SEWER PROFILE:
MH-P1 TO OCS-13



STORM SEWER PROFILE:
MH-Q3 TO OCS-BED-13



STORM SEWER PROFILE: OCS-BED-13 TO EW-S1



STORM SEWER PROFILE: I-S3.1 TO MH-S3

STORM SEWER PROFILE: I-S4.1 TO MH-S4

ALL STORM SEWER PIPES ARE S.L.C.P.P.
(UNLESS OTHERWISE NOTED)
ALL STORMWATER INLETS AND MANHOLES
TO HAVE 6" SUMP (MH), UNLESS FITTED
WITH A SHOUT, SEE DETAILS

VERTICAL
SCALE: 0 5 10 FEET

HORIZONTAL
SCALE: 0 50 100 FEET

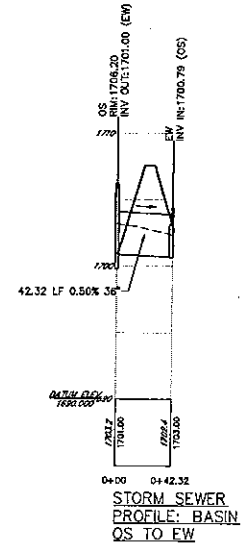
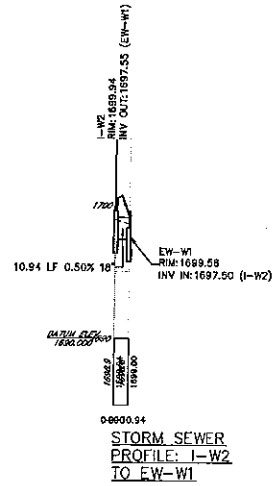
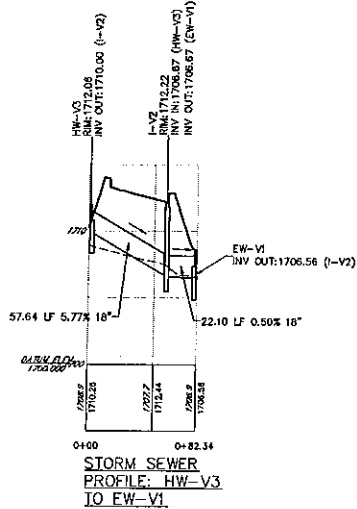
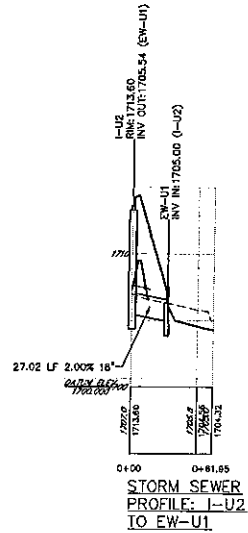
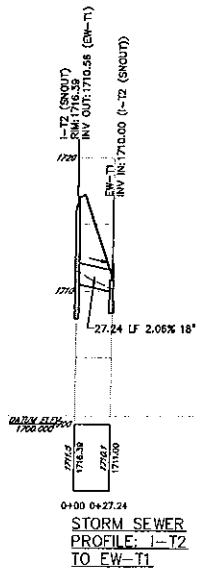


NO.	REVISIONS	DATE	APP'D

DRAWN: CHK'D: APPROVED:

EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EY
FINAL PLANS NEW VENTURES PARK LOT 110		Checked By: JFS
TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA		Approved By: CPM
STORMWATER PROFILES		Date: 3/13/2018
		Scale: AS NOTED
		Project No. 17052.06
		Sheet No. 18

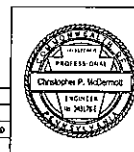
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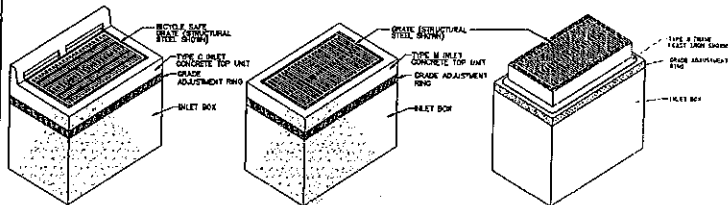
ALL STORM SEWER PIPES ARE 8\"/>

SCALE: VERTICAL
SCALE: HORIZONTAL

NO.	REVISIONS	DATE	APP'D



EXETER BLAKESLEE LOT 110 LAND LLC	
FINAL PLANS NEW VENTURES PARK LOT 110 TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA	
Drawn By: EV	Checked By: JPS
Approved By: CPM	Date: 3/13/2018
SCALE: AS NOTED	
PROJECT No. 17052-08	
SHEET No. 19	



TYPE C
NOT TO SCALE

TYPE M INLET
NOT TO SCALE

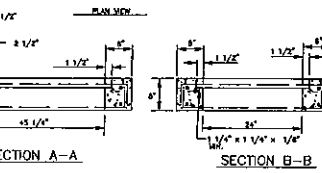
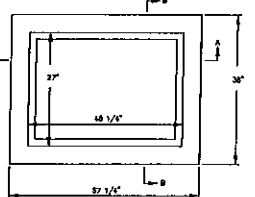
INLET BOX WITH TYPE M FRAME
NOT TO SCALE

* ALL BARS TO BE SPACED 8" MIN. BELOW LOWEST INVERT
SEE SPILT DETAILS FOR STANDARD SHAPES FOR BARS WITH SHOTS.

NOTE: CONSTRUCT INLETS AND BAY GRATES IN ACCORDANCE WITH PENNDOT PLAN 72, RD-344, MARCH 30, 2008

NOTES

- CONSTRUCTION REQUIREMENTS
- CONSTRUCT IN ACCORDANCE WITH PUBLICATION NO. SECTION 716.
- PRECAST CONCRETE CLASS CAST-IN-PLACE CLASS A PRECAST CLASS AA
- FOR REINFORCEMENT IN ACCORDANCE WITH PUBLICATION NO. SECTION 708 PROVIDE MINIMUM YIELD STRENGTH OF 60,000 PSI. D. CLEAR COVER FOR STEEL WALLS: CAST-IN PLACE PRECAST: 1 1/2" TOP BARS 2" BOTTOM BARS 2" SIDE COVER PRECAST: 2" TOP BARS 2" BOTTOM BARS 1 1/2" SIDE COVER 2" TOP & BOTTOM BARS



SECTION A-A
TOP & BOTTOM (TYP)

SECTION B-B

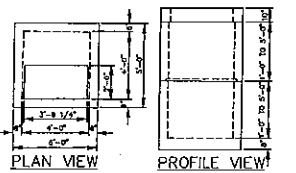
NOTES

- THIS SHEET DEPICTS THE SHAPE AND DIMENSIONS REQUIRED FOR UNIFORMITY AND COMPATIBILITY. PROVIDE ONLY TOP UNITS SUPPORTED BY A MANUFACTURER LISTED IN BULLETIN 15. FOR OPERATIONS STRONGS SUINLT, SHAP DRAWINGS FOR
- CAST-IN-PLACE TOP UNITS MAY BE BENCHING WITH THE INLET BOX.
- PROVIDE AREAS ENCASED IN THE CONCRETE AS A BEARING AREA FOR THE GRATE FOR ALL TOP UNITS WHICH BEAR THE DIRECTLY WITH THE UNIT.
- PLACE A TYPE M INLET ADJACENT TO THE BACK EDGE OF THE CURB, FLUSH WITH THE PAVEMENT SURFACE. WHEN REQUIRED WITH A CONCRETE ADJUSTABLE CURB SECTION.
- DO NOT TYPE C INLET TOP UNITS WITH 2-#8 X 1'-0" DOUBL BARS AND PLACE PRECASTED EXPANSION JOINT FILLER 1/4" MIN. WITH CONNECTION TO ADJACENT CURB SECTION.
- THE POSITION OF THE TYPE B INLET RELATIVE TO THE GUTTER INVERT IS INDICATED ON THE RATE OF BACK SLOPE. FOR BACK SLOPES GREATER THAN 2% LOCATE THE INLET INSIDE THE BACK SLOPE LINE. INTERSECT THE BACK TOP OUTSIDE CORNER OF THE INLET. FOR BACK SLOPES LESS THAN 2% LOCATE THE INLET INSIDE THE BACK SLOPE LINE INTERSECTING THE EDGE OF THE INLET DRIVE.
- TAPERS MAY BE PROVIDED ON INSIDE VERTICAL FACES OF PRECAST INLET TOPS TO FACILITATE FORM STRIPPING. TAPERS WILL RESULT IN INTERNAL BOTTOM DIMENSIONS THAT VARY TO A MAXIMUM OF 1".

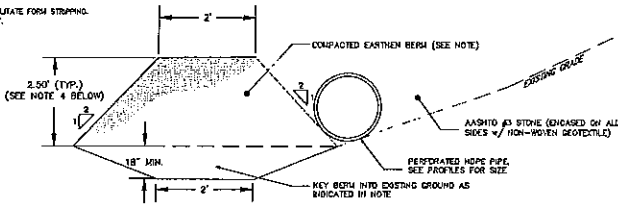
TYPE M

NOTES

- THIS SHEET DEPICTS THE VARIOUS COMPONENTS REQUIRED FOR COMPLETE INLET ASSEMBLY. FOR INDIVIDUAL COMPONENTS AND OTHER SPECIAL DETAILS, SEE THE FOLLOWING: SHEET 8 OF 10 FOR CONCRETE TOP UNITS SHEET 9 OF 10 FOR GRATES AND OTHER SPECIAL DETAILS SHEET 10 OF 10 FOR FRAMES SHEET 11 OF 10 FOR STANDARD INLET BOXES (CAST-IN-PLACE) SHEET 12 OF 10 FOR MODIFIED INLET BOXES (CAST-IN-PLACE AND PRECAST) SHEET 13 OF 10 FOR TYPE B-H INLET.
- EACH TYPE OF INLET SHOWN IS SIZED FOR A PARTICULAR SITUATION AS FOLLOWS: TYPE C INLET IS DESIGNATED FOR INSTALLATION WITH NON-ADJUSTABLE CURBS TYPE M INLET IS DESIGNATED FOR INSTALLATION IN SITUATIONS WITH ADJUSTABLE CURBS TYPE B-H INLET IS DESIGNATED FOR INSTALLATION IN SITUATIONS WITH ADJUSTABLE CURBS
- THE SELECTION OF COMPONENTS TO ASSEMBLE A SPECIFIED INLET ASSEMBLY IS THE CONTRACTOR'S RESPONSIBILITY.
- USE PRECAST CONCRETE OR SMALL SHOCK ADJUSTMENT JOBS WHEN REQUIRED. (REINBURSEMENT PROJECTS)
- FOR WALL REINFORCEMENT, BOTH DIRECTIONS, USE 10" 2/4 MIN EACH WAY, EACH FACE 4" MAX SPACING.
- FOR FOOTING REINFORCEMENT, TOP AND BOTTOM, USE #4 BARS AT 12" CENTERS EACH WAY OR 17" 2/4 MIN 4" MAX SPACING.
- ALL DIMENSIONS ARE IN U.S. CUSTOMARY UNITS.
- PROVIDE KEEP HOLES ON INLET BOXES WHEN REQUIRED.
- PIPES MAY BE CONNECTED TO DRAINAGE STRUCTURES (PRECAST INLETS, ETC.) WITH WORTHER OR WATERSTOP RUBBER FLOOR, CONNECTORS.

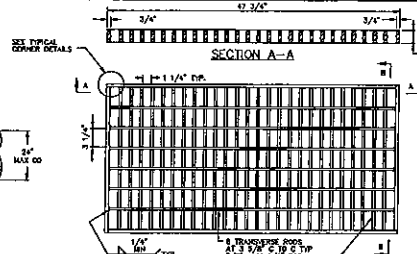


MODIFIED PA INLET (4' x 4')
NOT TO SCALE

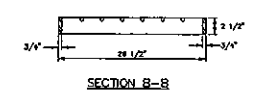


UNDERGROUND INFILTRATION BED DETAIL
NOT TO SCALE

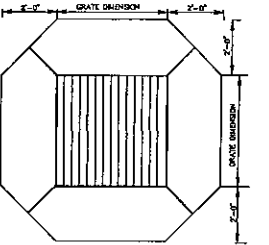
- NOTE:
- THE SOIL FOR CONSTRUCTION OF THE UNDERGROUND BEDS SHALL HAVE A COEFFICIENT OF PERMEABILITY (C) OF NOT MORE THAN .03 ON (C/S). WHEN CONFINED TO NOT LESS THAN 85 PERCENT OF MAXIMUM DRY DENSITY (ASTM D99). UNIFIED SOIL CLASSIFICATION SYSTEM SOIL TYPES HAVING SUCH A PERMEABILITY RATE INCLUDE "CO", "MC", "ML", "OL", "ML", "OL", AND "MH" SOIL TYPES. "OL" AND "MH" SOIL TYPES SHOULD ALSO BE USED DEPENDENT ON THE SPECIFIC GRADATION AND PLASTICITY OF THE PARTICULAR SOIL BEING CONSIDERED.
 - BEDS SHALL BE KEPT TO NOT LESS THAN 18" INTO EXISTING GROUND.
 - STONE APPROPRIATE SHALL BE WASHED BY SCREENS AS INDICATED IN DETAIL.
 - ALL BEDS HEIGHTS ARE 2.5' HEIGHT AS NOTED ON THE PLAN VIEW DRAWINGS.



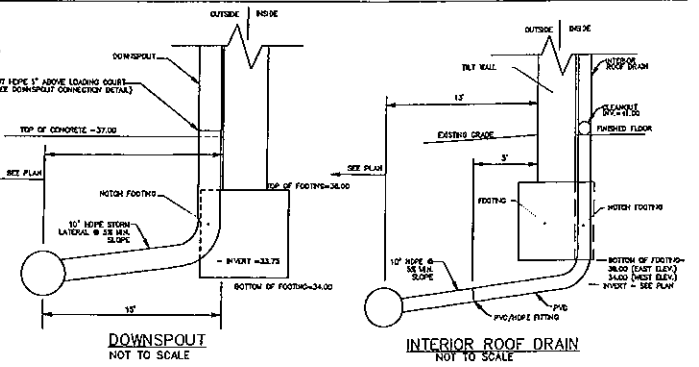
STRUCTURAL STEEL GRATE BICYCLE SAFE



TYPICAL CORNER DETAILS

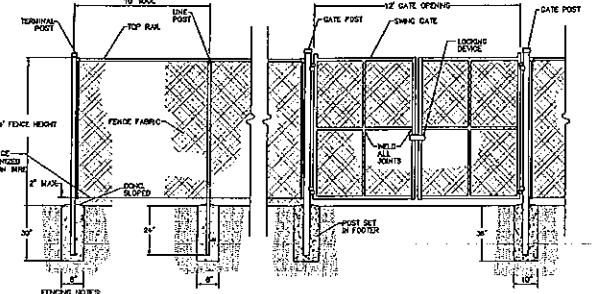


STORM INLET CONCRETE COLLAR
NOT TO SCALE



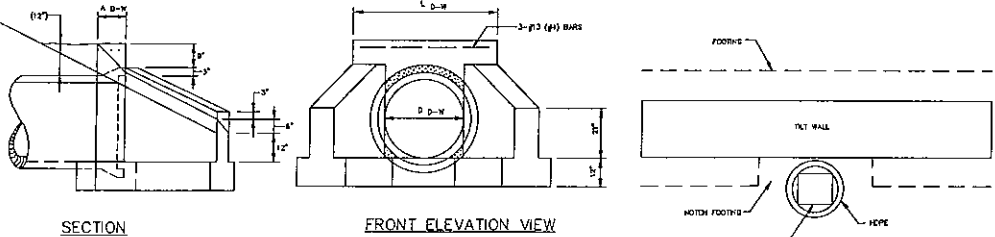
DOWNSPOUT
NOT TO SCALE

INTERIOR ROOF DRAIN
NOT TO SCALE



DETENTION BASIN CHAIN LINK FENCE DETAIL
NOT TO SCALE

- ALL STEEL PARTS SHALL BE HOT-DIPPED GALVANIZED
- LINE POSTS: 1.325" O.D. STANDARD WEIGHT, SCH. 40 STEEL PIPE
- TERMINAL POSTS: 2.000" O.D. STANDARD WEIGHT, SCH. 40 STEEL PIPE
- GATE POSTS: 2.875" O.D. STANDARD WEIGHT, SCH. 40 STEEL PIPE
- FENCE FABRIC: 7 GAUGE GALVANIZED TORSION MESH
- BASE: 1-5/8" O.D. STANDARD WEIGHT SCH. 40 STEEL PIPE WITH 5/16" THICK FLOOR AND THROUGHOUT ATTACHMENT OF FLOORING.
- TERMINAL WIRE: 7 GAUGE FASTENED @ 24" O.C.
- FENCING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.



SECTION

FRONT ELEVATION VIEW

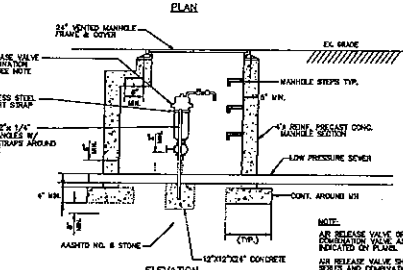
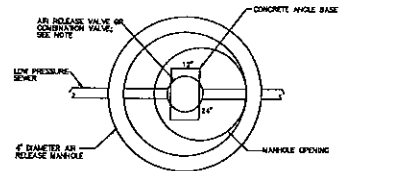
DOWNSPOUT CONNECTION
NOT TO SCALE

TYPE D-W ENDWALL
NOT TO SCALE

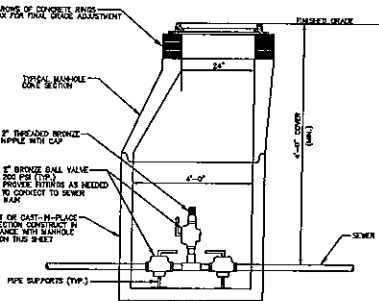
NO.	REVISIONS	DATE	APP'D



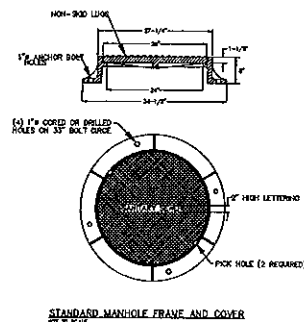
EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EY
FINAL PLANS NEW VENTURES PARK LOT 110		Checked By: JFS
TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA		Approved By: CDA
CONSTRUCTION DETAILS		Date: 3/13/2018
Reilly		Scale: N.T.S.
P.O. Box 882 Shrewsbury, PA 17052-0882		Project No.: 17052-06
www.reilly.com		Sheet No.: 021A
		20



LOW PRESSURE SEWER AIR RELEASE VALVE, COMBINATION AIR VALVE, AND MANHOLE DETAIL NOT TO SCALE



LOW PRESSURE SEWER MANHOLE CLEANOUT NOT TO SCALE



STANDARD MANHOLE FRAME AND COVER AS SHOWN

WG20 and WGX20 (EXPLOSION-PROOF)

Standard and Explosion-proof 2 HP Submersible Grinder Pumps

STAIN
2.5% SODIUM HYDROXIDE
1.0% CHLORINE BLENDED
1.0% CHLORINE BLENDED
1.0% CHLORINE BLENDED

CABLE ENTRY SYSTEM
Cable entries shall be installed through the enclosure and shall be protected by a cable gland or equivalent device which provides a minimum IP67 protection to the cable entry point.

DIMENSIONS

SEAL SYSTEM
The seal system shall be designed to prevent leakage of water or other liquids into the enclosure under any operating conditions. Seals shall be replaced when necessary.

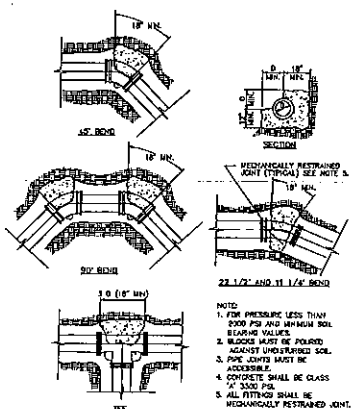
HAZARDOUS AREA
The enclosure shall be suitable for installation in a hazardous area, Class I, Group D, Division 2, and shall comply with the requirements of the applicable standards.

PERFORMANCE CURVE

GRINDER ASSEMBLY
The grinder assembly shall be designed to grind up solids up to 1 1/2 inches in diameter and 1 1/2 inches in length. The grinder shall be protected by a safety device which prevents the grinder from running if the cover is removed.

SEAL SYSTEM
The seal system shall be designed to prevent leakage of water or other liquids into the enclosure under any operating conditions. Seals shall be replaced when necessary.

INSTALLATION
The pump shall be installed in a clean, dry area and shall be protected by a safety device which prevents the pump from running if the cover is removed.



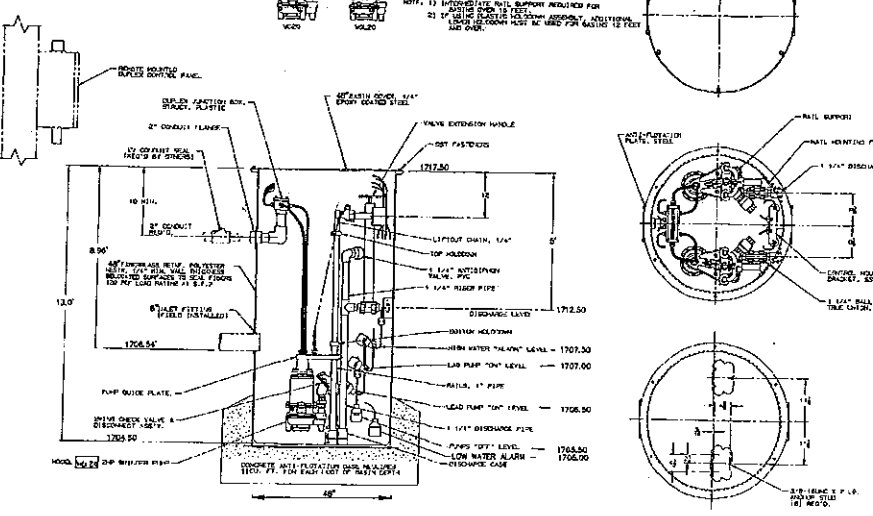
LOW PRESSURE SEWER THRUST BLOCK DETAILS NOT TO SCALE

1. THE WEIGHT OF THE INVERTS TO BE USED IN THE COLLECTION SYSTEM FOR SERVING THE SEWER COLLECTION SYSTEM IS TO BE THE LATEST EDITION OF THE SPECIFICATIONS OF THE MANHOLE MANUFACTURER.
2. ALL MANHOLES SHALL BE CONSTRUCTED AS SHOWN IN THE SEWER SPECIFICATIONS.
3. THE MANHOLE TOPPING SHALL BE CONFORMANT TO THE SEWER SPECIFICATIONS. THE TOPPING SHALL BE A MINIMUM OF 18\"/>
- 4. ALL MANHOLES INCLUDING THE LATEST EDITION OF THE SEWER SPECIFICATIONS AND THE SEWER SPECIFICATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEWER SPECIFICATIONS.
- 5. THE LOW PRESSURE SEWER CONDUIT TO THE SEWER MANHOLE IS TO BE THE LATEST EDITION OF THE SEWER SPECIFICATIONS AND THE SEWER SPECIFICATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEWER SPECIFICATIONS.
- 6. ALL MANHOLES INCLUDING THE LATEST EDITION OF THE SEWER SPECIFICATIONS AND THE SEWER SPECIFICATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEWER SPECIFICATIONS.
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TYPICAL INSTALLATION

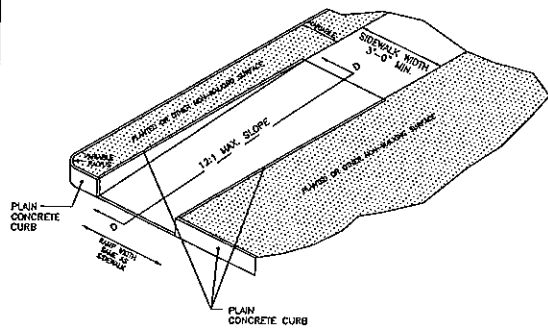
48\"/>

PUMP MODELS: WG20, WXL20

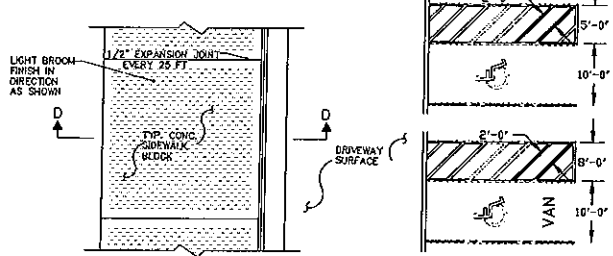


NO.	REVISIONS	DATE	APPROVED

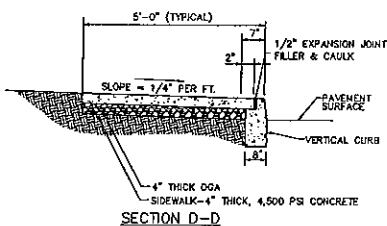
EXETER BLAKESLEE LOT 110 LAND LLC	
FINAL PLANS NEW VENTURES PARK LOT 110	
TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA	
CONSTRUCTION DETAILS	
Drawn By: EV Checked By: JPS Approved By: CFM Date: 3/13/2018 Scale: N.T.S. Project No. 17052-06 Sheet No. 21	



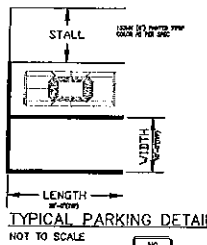
TYPE 4A CURB RAMP



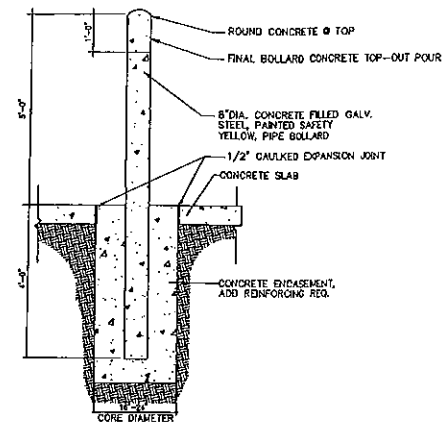
PLAN



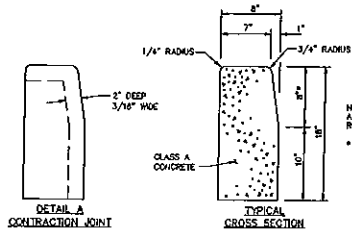
TYPICAL CONCRETE SIDEWALK CONSTRUCTION
NOT TO SCALE



TYPICAL PARKING DETAIL
NOT TO SCALE



8" SCHEDULE 80 PIPE BOLLARD DETAIL
NOT TO SCALE



DETAIL A
CONTRACTION JOINT

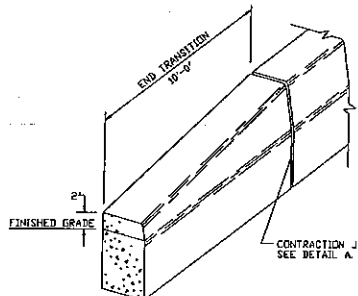
TYPICAL
CROSS SECTION

NOTE: CONSTRUCT CONCRETE CURBS IN ACCORDANCE WITH POT. PUB. 72, RC-844, APRIL 28, 2000.
* CURB REVEAL SHALL BE 6" AROUND BUILDINGS

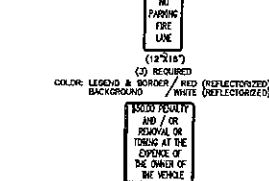
NOTES

1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 406/2000, SECTION 830 FOR PLAIN CEMENT CONCRETE CURBS AND EXPRESSED CURB, SECTION 840 FOR PLAIN CEMENT CONCRETE GUTTERS AND SECTION 841 FOR PLAIN CEMENT CONCRETE CURB GUTTER.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/4" THICK PRECAST EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. USE MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
4. SEE RC-808 FOR PLAIN CEMENT CONCRETE CURB SLOPED TOP TREATMENT AT END OF STRUCTURE.

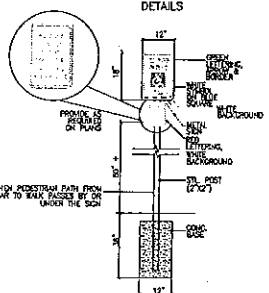
PLAIN CEMENT CONCRETE CURB
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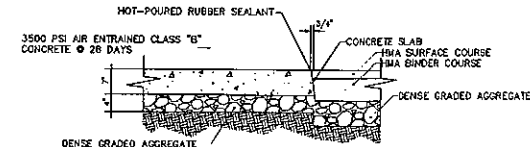
PLAIN CEMENT CONCRETE CURB END TRANSITION
NOT TO SCALE



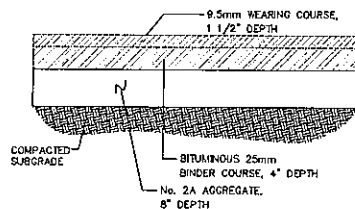
WALL MOUNTED SIGN
DETAILS



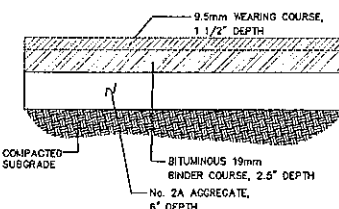
ACCESSIBLE PARKING LAYOUT



DOLLY PAD/LOADING DOCK SLAB DETAIL
NOT TO SCALE



TYPICAL BITUMINOUS PARKING AREA SECTION
NOT TO SCALE



LIGHT DUTY BITUMINOUS PARKING AREA SECTION
NOT TO SCALE

PLAIN CEMENT CONCRETE CURB
NOT TO SCALE

PLAIN CEMENT CONCRETE CURB END TRANSITION
NOT TO SCALE

ACCESSIBLE PARKING LAYOUT

TYPICAL BITUMINOUS PARKING AREA SECTION
NOT TO SCALE

LIGHT DUTY BITUMINOUS PARKING AREA SECTION
NOT TO SCALE

PLAIN CEMENT CONCRETE CURB
NOT TO SCALE

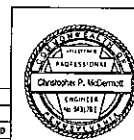
PLAIN CEMENT CONCRETE CURB END TRANSITION
NOT TO SCALE

ACCESSIBLE PARKING LAYOUT

TYPICAL BITUMINOUS PARKING AREA SECTION
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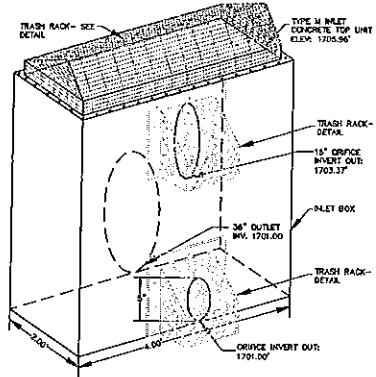
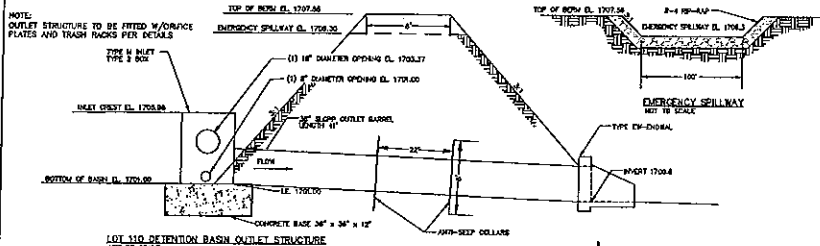
LIGHT DUTY BITUMINOUS PARKING AREA SECTION
NOT TO SCALE

EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EV
FINAL PLANS NEW VENTURES PARK LOT 110		Checked By: JPS
TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA		Approved By: CPM
CONSTRUCTION DETAILS		Date: 3/13/2018
Scale: N.T.S.		Project No. 17052.06
Sheet No. 22		



NO.	REVISIONS	DATE	APP'D

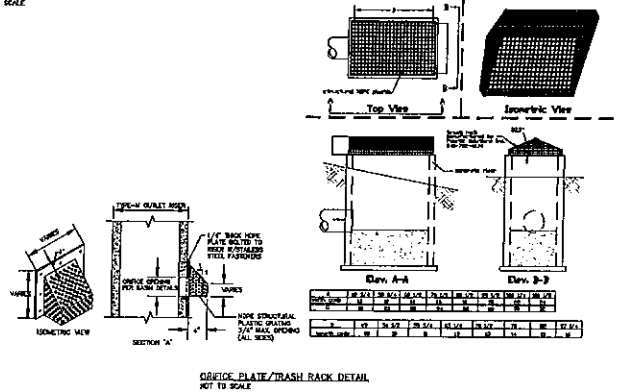
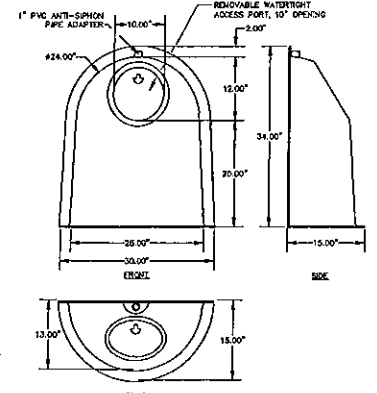
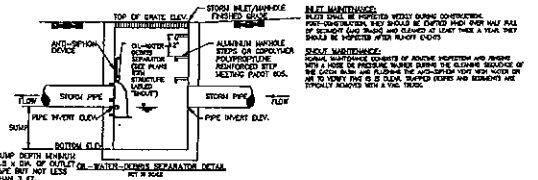
Reilly
P.O. Box 837
Shrewsbury PA 17369
Tel: 717-797-7332
Fax: 717-797-7333
www.reillyeng.com



OUTLET STRUCTURE
LOT 110 DETENTION BASIN
NOT TO SCALE

INLET MAINTENANCE:
INLETS SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. POST-CONSTRUCTION THEY SHOULD BE CLEANED WHEN OVER HALF FULL OF SEDIMENT (AND TRASH) AND CLEANED AT LEAST TWICE A YEAR. THEY SHOULD BE INSPECTED AFTER RUNOFF EVENTS.

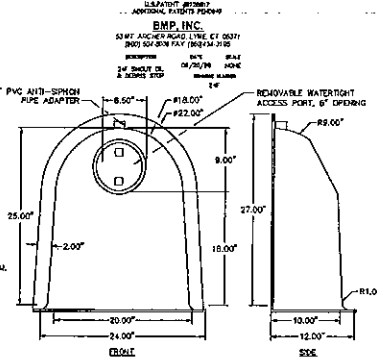
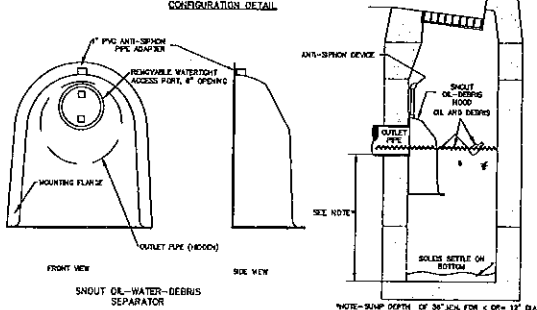
SNOUT MAINTENANCE:
SNOUT MAINTENANCE CONSISTS OF ROUTINE INSPECTION AND REPAIRS. WITH A HOSE OR PRESSURE WASHER DURING THE CLEANING SEQUENCE OF THE CATCH BASIN AND FLUSHING THE ANTI-SNITCH VENT WITH WATER OR AIR TO VERIFY THAT IT IS CLEAR. TRAPPED DEBRIS AND SEDIMENTS ARE TYPICALLY REMOVED WITH A VAC. TRUCK.



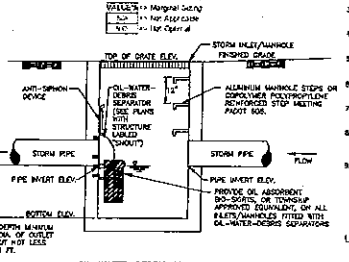
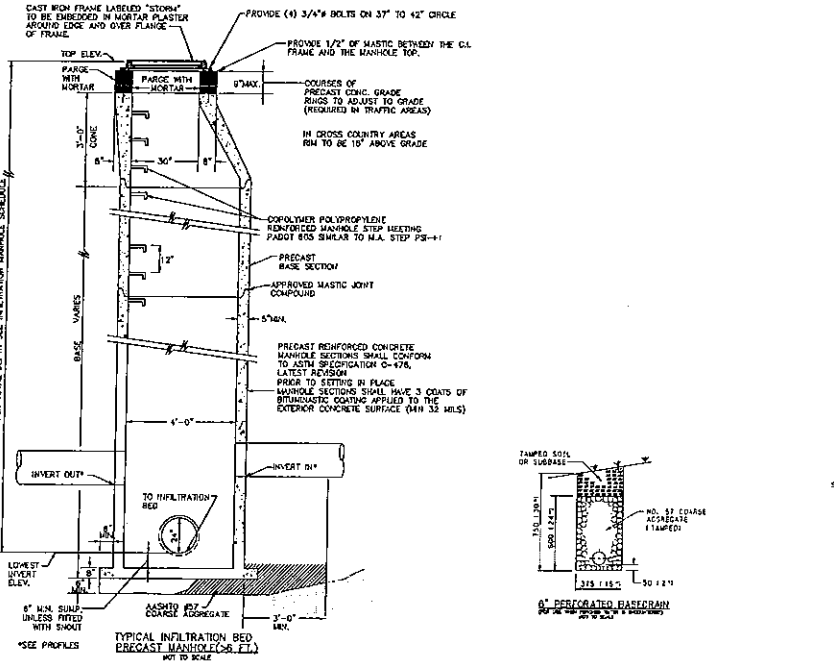
Best Management Products, Inc.
SNOUT Oil/Water-Debris Separator

Flow Rate Worksheet

MODEL	% OF SNOUT INLET AREA VS. PIPE INSIDE DIAMETER									
	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"
1000	100	100	100	100	100	100	100	100	100	100
1500	100	100	100	100	100	100	100	100	100	100
2000	100	100	100	100	100	100	100	100	100	100
2500	100	100	100	100	100	100	100	100	100	100
3000	100	100	100	100	100	100	100	100	100	100
3500	100	100	100	100	100	100	100	100	100	100
4000	100	100	100	100	100	100	100	100	100	100
4500	100	100	100	100	100	100	100	100	100	100
5000	100	100	100	100	100	100	100	100	100	100
5500	100	100	100	100	100	100	100	100	100	100
6000	100	100	100	100	100	100	100	100	100	100
6500	100	100	100	100	100	100	100	100	100	100
7000	100	100	100	100	100	100	100	100	100	100
7500	100	100	100	100	100	100	100	100	100	100
8000	100	100	100	100	100	100	100	100	100	100
8500	100	100	100	100	100	100	100	100	100	100
9000	100	100	100	100	100	100	100	100	100	100
9500	100	100	100	100	100	100	100	100	100	100
10000	100	100	100	100	100	100	100	100	100	100



- NOTES:
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC. 33 MT. ANCHOR ROAD, LYME, CT 06257 (860) 434-3183 FAX (860) 434-3185 (800) 304-8068 OR (888) 354-7545 WWW.BMP.COM
 - ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH 600 GSI CARBON FIBER WITH A MINIMUM 1/16" LAMINATE THICKNESS.
 - ALL HOODS SHALL BE EQUIPPED WITH A WATERPROOF ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SNITCH VENT AS SHOWN (SEE CONFIGURATION DETAIL).
 - THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
 - THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES 4" TO 6".
 - THE ANTI-SNITCH VENT SHALL BE OPENED ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
 - THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
 - THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" DIA. STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKETS AS SHOWN BY MANUFACTURER. (SEE INSTALLATION DETAIL).
 - INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.
- US Patent # 6126817



OIL-WATER-DEBRIS SEPARATOR DETAIL
NOT TO SCALE
Oil-Water-Debris Separator and its hood to structure labeled "SNOUT" on the plan.
Oil-Water-Debris Separator and its hood to structure labeled "SNOUT" on the plan.
Oil-Water-Debris Separator and its hood to structure labeled "SNOUT" on the plan.

EXETER BLAKESLEE LOT 110 LAND LLC
FINAL PLANS
NEW VENTURES PARK
LOT 110
TOBYHANNA TOWNSHIP, MONROE COUNTY
PENNSYLVANIA
STORMWATER OPERATION & MAINTENANCE PLAN
3/13/2018
Project No. 17052.06
Sheet No. 24

Prepared By: EV
Checked By: JPS
Designed By: CPU
Date: 3/13/2018
Scale: N.T.S.
Project No.: 17052.06
Sheet No.: 24



NO.	REVISIONS	DATE	APP'D

DRAWING: CHK'D: APPROVED:

OPERATION AND MAINTENANCE NOTES

BASIN MAINTENANCE: ALL BASIN STRUCTURES EXPECTED TO RECEIVE AND/OR TRAP DEBRIS AND SEDIMENT SHOULD BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR TIMES PER YEAR, AS WELL AS AFTER EVERY STORM GREATER THAN 1 INCH. STRUCTURES INCLUDE BASIN BOTTOMS, TRAP RACKS, OUTLET STRUCTURES, RIPRAP OR GABION STRUCTURES, AND DEETS. SEDIMENT REMOVAL SHOULD BE CONDUCTED WHEN THE BASIN IS COMPLETELY DRY. SEDIMENT SHOULD BE DISPOSED OF PROPERLY AND ONCE SEDIMENT IS REMOVED, DISTURBED AREAS NEED TO BE IMMEDIATELY STABILIZED AND REVEGETATED. MOWING AND/OR TRIMMING OF VEGETATION SHOULD BE PERFORMED AS NECESSARY TO SUSTAIN THE SYSTEM, BUT ALL DEBRIS SHOULD BE REMOVED FROM THE VEGETATED AREAS. VEGETATED AREAS SHOULD BE INSPECTED ANNUALLY FOR EROSION. VEGETATED AREAS SHOULD BE INSPECTED ANNUALLY FOR UNWANTED GROWTH OF EXOTIC/INVASIVE SPECIES. VEGETATIVE COVER SHOULD BE MAINTAINED AT A MINIMUM OF 85 PERCENT. IF VEGETATIVE COVER HAS BEEN REDUCED BY 10%, VEGETATION SHOULD BE REESTABLISHED.

STORMWATER INLETS: INSPECT STORMWATER INLETS MONTHLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. REMOVE ALL SEDIMENT BUILD-UP IN THE STORMWATER INLET WITH SEDIMENT DEPTH REACHES SIX (6) INCHES OR GREATER. REPAIR OR REPLACE STORMWATER INLET COMPONENTS (BOX, TOP, LID, GRATE, ETC.) AS NECESSARY.

STORMWATER PIPES: INSPECT STORMWATER PIPES ANNUALLY TO ENSURE NO BLOCKAGES HAVE OCCURRED. INSPECT AND REPLACE ANY BROKEN OR STRUCTURALLY COMPROMISED PIPES IMMEDIATELY. FLUSH ANY SEDIMENT FROM STORMWATER PIPES WHEN SEDIMENT DEPTH REACHES THREE (3) INCHES OR GREATER.

ROCK APPROX: INSPECT ROCK APPROX MONTHLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. REPLACE ROCK APPROX WHEN HAS BEEN MOVED FROM ITS CONSTRUCTED POSITION. REPAIR OR REPLACE TORN OR DAMAGED GEOTEXTILE.

OL-WATER-DEBRIS SEPARATION INLETS: INSPECT OL-WATER-DEBRIS SEPARATORS MONTHLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. REMOVE SEDIMENT FROM THE CATCH BASIN WHEN THE SEDIMENT DEPTH REACHES SIX (6) INCHES OR GREATER. REMOVE FLOATABLE MATERIALS FROM THE INLET WHEN NECESSARY. REPAIR OR REPLACE ANY DAMAGED OL-WATER-DEBRIS SEPARATORS IMMEDIATELY.

RAIN GARDEN/BIORETENTION: INSPECT 2 TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION, AND VEGETATIVE CONDITIONS. WEEDS SHOULD BE REMOVED WHEN EROSION IS EVIDENT. APPLY MULCH EVERY 3 YEARS OR AS NEEDED. TRIM SHRUBS AND TREES AS NEEDED.

STREET CROSSING PAVING AREAS, ADDRESS DRIVES, AND OTHER SURFACIOUS AREAS: SHALL BE CLEARED WITH STREET SWEEPERS ANNUALLY AT A MINIMUM, OR MORE FREQUENTLY IF SEDIMENT ACCUMULATIONS ARE OBSERVED.

ADJACENT GRASSY AREAS: INSPECT AFTER EACH SIGNIFICANT RAINFALL EVENT (1.5 INCH OR GREATER) OR 2 TIMES A YEAR. MOWING MAY BE CONDUCTED AND INSPECTED BY WALKING ALONG TOP OF WEED. ANY EQUIPMENT USED FOR RECONSTRUCTION OF FIELDS SHOULD BE USED THROUGH THE WEEDS PERPENDICULAR TO THE WEED AND SHOULD LIMIT THE AMOUNT OF DAMAGE TO VEGETATION. MOW TRUCKS EQUIPMENT SHOULD BE USED WHERE POSSIBLE TO LIMIT COMPACTION. INSPECTION SHOULD INVOLVE THE FOLLOWING:

- ENSURE BOUNDARY AREAS ARE BYPASSING BY MONITORING DRAINAGE TIME AFTER MAJOR STORM EVENTS.
- INSPECT FOR SIGNS OF FLOW CHANNELIZATION. RESTORE LEVEL GRADIENT IMMEDIATELY AFTER DISTURBANCES ARE OBSERVED.
- INSPECT FOR EROSION OR OTHER FAILURES.
- INSPECT STRUCTURAL COMPONENTS TO ENSURE FUNCTIONALITY.
- MAINTAIN TURF GRASS AND OTHER VEGETATION BY RESEEDING ERODED AREA AND REMOVING INVASIVE SPECIES.
- REMOVE ACCUMULATED TRASH AND DEBRIS.

UNDERGROUND INFILTRATION BEDS: FUNCTIONALITY OF INFILTRATION BEDS DEPENDS UPON INSPECTION AND MAINTENANCE OF PIPES AND INLETS. UNDERGROUND INFILTRATION BEDS SHOULD BE INSPECTED AFTER SIGNIFICANT RAINFALL EVENTS (1.5 INCHES OR GREATER) OR 2 TIMES A YEAR TO ENSURE ADEQUATE DRAINAGE TIME.

SIGNS OF BMP FAILURE: INFILTRATION BEDS ARE SUBJECT TO FAILURE FROM EXCESS SEDIMENT LOADS, PLUGGED PIPES/INLETS, AND PLUGGED OL-WATER-DEBRIS SEPARATORS. IF WATER DOES NOT FULLY DRAIN DOWN WITHIN 72 HOURS AFTER A STORM EVENT, INSPECTION AND MAINTENANCE PROCEDURES SHOULD BE PERFORMED ON BMP. IF THIS DOES NOT RESOLVE THE PROBLEM, AN ENGINEER FAMILIAR WITH BMP DESIGN AND CONSTRUCTION SHOULD BE CONTACTED.

BASIN MAINTENANCE

ALL BASIN STRUCTURES EXPECTED TO RECEIVE AND/OR TRAP DEBRIS AND SEDIMENT SHOULD BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR TIMES PER YEAR, AS WELL AS AFTER EVERY STORM GREATER THAN 1 INCH. STRUCTURES INCLUDE BASIN BOTTOMS, TRAP RACKS, OUTLET STRUCTURES, RIPRAP OR GABION STRUCTURES, AND DEETS. SEDIMENT REMOVAL SHOULD BE CONDUCTED WHEN THE BASIN IS COMPLETELY DRY. SEDIMENT SHOULD BE DISPOSED OF PROPERLY AND ONCE SEDIMENT IS REMOVED, DISTURBED AREAS NEED TO BE IMMEDIATELY STABILIZED AND REVEGETATED. MOWING AND/OR TRIMMING OF VEGETATION SHOULD BE PERFORMED AS NECESSARY TO SUSTAIN THE SYSTEM, BUT ALL DEBRIS SHOULD BE REMOVED FROM THE BASIN. VEGETATED AREAS SHOULD BE INSPECTED ANNUALLY FOR EROSION. VEGETATED AREAS SHOULD BE INSPECTED ANNUALLY FOR UNWANTED GROWTH OF EXOTIC/INVASIVE SPECIES. VEGETATIVE COVER SHOULD BE MAINTAINED AT A MINIMUM OF 85 PERCENT. IF VEGETATIVE COVER HAS BEEN REDUCED BY 10%, VEGETATION SHOULD BE REESTABLISHED.

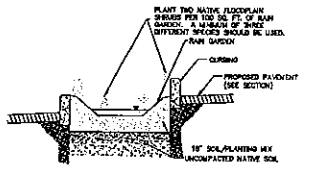
BENCH & SUB-BASINMENTS

BENCHES & SUB-BASINMENTS ARE TO BE PLANTED WITH NATURAL SEED MIX. THE NEED FOR MOWING IS NOT ANTICIPATED. REMOVE INVASIVE PLANTS AS NEEDED. INSPECT FOR SIGNS OF FLOW CHANNELIZATION. RESTORE LEVEL GRADIENT IMMEDIATELY AFTER DISTURBANCES ARE OBSERVED. REGULARLY INSPECT FOR EROSION OR OTHER FAILURES. REPAIR WITH SEED AND PERMANENT EROSION CONTROL MATTING AS REQUIRED. REGULARLY INSPECT STRUCTURAL COMPONENTS TO ENSURE FUNCTIONALITY. MAINTAIN TURF GRASS AND OTHER VEGETATION BY MOWING AND RE-SEEDING. MONTHLY REMOVE ACCUMULATED TRASH AND DEBRIS.

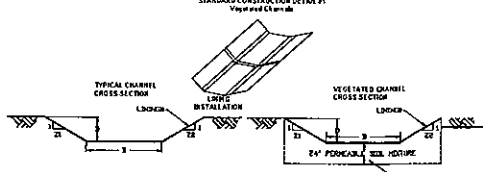
OL-WATER-DEBRIS SEPARATORS

MAINTENANCE RECOMMENDATIONS

1. MONTHLY MAINTENANCE FOR THE FIRST YEAR OF A NEW INSTALLATION AFTER THE SITE HAS BEEN STABILIZED.
2. MAINTENANCE SHOULD BE TAKEN AFTER EACH MAJOR STORM OR 1 INCHES OR MORE, OR MONTHLY, AS DETERMINED BY LOCAL WEATHER CONDITIONS.
3. CHECKING SEDIMENT DEPTH AND WITHIN THE SURFACE POLLUTANTS IN THE STRUCTURE SHALL BE DONE IN PLANNING MAINTENANCE. THE POLLUTANTS COLLECTED IN SLOTTED EQUIPPED STRUCTURES WILL CONSIST OF FLEETABLE OILS AND OILS ON THE SURFACE OF THE CAPTURED WATER AND GREASE AND SAND ON THE BOTTOM OF THE STRUCTURE.
4. IT IS BEST TO SCHEDULE MAINTENANCE BASED ON THE SOLIDS COLLECTED IN THE SUMP. OPTIMALLY, THE STRUCTURE SHOULD BE CLEANED WHEN THE SUMP IS HALF FULL (OR WHEN 2 FEET OF MATERIAL COLLECTS IN A 4 FOOT SUMP, CLEAN IT OUT).
5. STRUCTURES SHOULD ALSO BE CLEANED IF A SPILL OR OTHER INCIDENT CAUSES A LARGER THAN NORMAL ACCUMULATION OF POLLUTANTS IN A SUMP.
6. MAINTENANCE IS BEST DONE WITH A VACUUM TRUCK.
7. ALL COLLECTED MATERIALS SHOULD BE REMOVED AND DISPOSED OF ACCORDING TO LOCAL GOVERNMENT.
8. TO MAINTAIN THE SLOTTED INLETS, PERFORM AN ANNUAL INSPECTION OF THE UNDERGROUND AND ACCESSIBLE AREAS. MAINTAIN A SUMP FOLLOWING OF THE VENT OR DOUBLE HOODING WITH A FLEXIBLE WIRE, AND ALL TRAPS TYPICALLY NEEDED TO MAINTAIN THE WITH-SUMP PROPERTIES. OPERATE AND CLEAN THE ACCESS RATCH ONCE A YEAR ENSURES A LIFETIME OF TROUBLE-FREE SERVICE.



LOT 110 RAIN GARDEN SECTION
NOT TO SCALE



PERMANENT CHANNEL LINING INSTALLATION DETAIL
NOTE: DETAIL TO BE ADAPTED AS RECOMMENDED BY THE LINING MANUFACTURER.

CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z		LINING*	
				Z1 (Z')	Z2 (Z')	MATTING	SEED
1W	ENTIRE LENGTH	5.0	5.0	2	3	1.75	CRUSHED ROCK/SLAB
9	ENTIRE LENGTH	8.0	2.0	2	3	1.75	CRUSHED ROCK/SLAB
10W	ENTIRE LENGTH	5.0	2.0	3	3	1.75	CRUSHED ROCK/SLAB
11	ENTIRE LENGTH	8.0	2.0	2	3	1.75	CRUSHED ROCK/SLAB
10P/1W	ENTIRE LENGTH	8.0	2.0	2	3	1.75	CRUSHED ROCK/SLAB
10P/2	ENTIRE LENGTH	8.0	1.0	2	3	1.75	CRUSHED ROCK/SLAB
10P/3	ENTIRE LENGTH	8.0	2.0	2	3	1.75	CRUSHED ROCK/SLAB
10P/4	ENTIRE LENGTH	8.0	2.0	2	3	1.75	CRUSHED ROCK/SLAB

* See Manufacturer's Lining Installation Detail for Slope Patterns, and Vegetation Stabilization Specifications for Soil Amendments, Seed Mixtures, and Mowing Information. PROVIDE PERMANENT CHANNEL LINING MANUFACTURED BY NORTH AMERICAN GREEN OR APPROVED EQUAL. SLOPES MUST BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION. PHOTOGRAPHS SHALL BE TAKEN TO VERIFY CHANNEL CROSS SECTION SHOWN ABOVE. CONTINUATION OF NOTES WITH DIFFERENT DIMENSIONS.



NO.	REVISIONS	DATE	APP'D

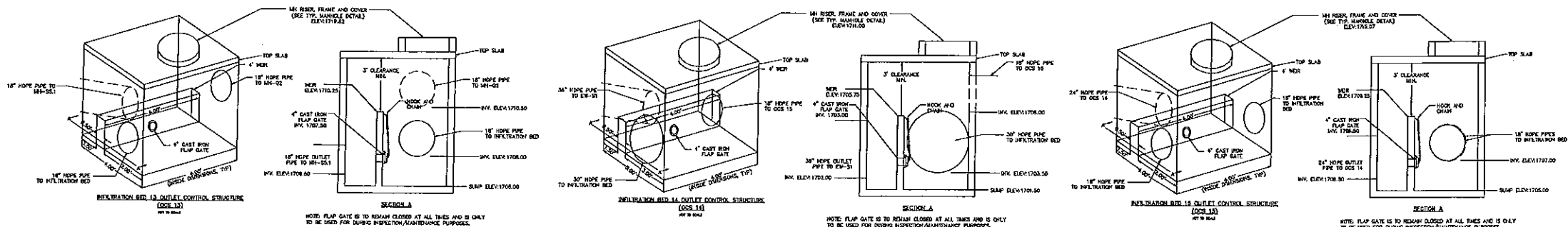
EXETER BLAKESLEE LOT 110 LAND LLC

FINAL PLANS
NEW VENTURES PARK
LOT 110
TOBYHANNA TOWNSHIP, MONROE COUNTY
PENNSYLVANIA

Stormwater Operation & Maintenance Plan

Reilly
P.O. Box 867
Stroudsburg, PA 18369
Tel: 610.477.7222
Fax: 610.477.7222

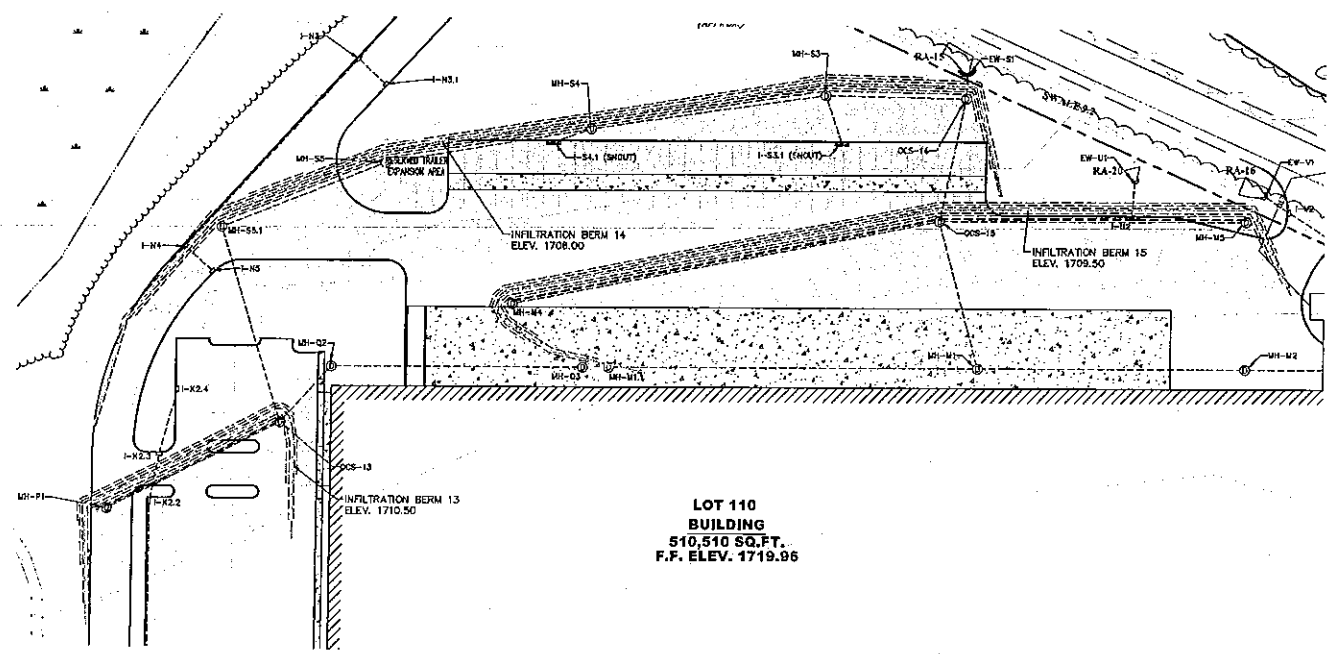
Drawn By: E.V.
Checked By: UPS
Approved By: CPM
Date: 3/13/2018
Scale: N.T.S.
Project No: 17052.06
Sheet No: 25



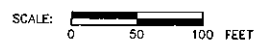
NOTE: FLAP GATE IS TO REMAIN CLOSED AT ALL TIMES AND IS ONLY TO BE USED FOR DURING INSPECTION/MAINTENANCE PURPOSES.

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**LOT 110
BUILDING
510,510 SQ. FT.
F.F. ELEV. 1719.96**

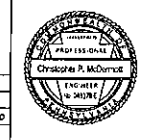


LEGEND

[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING STRIP
[Symbol]	EXISTING BOUNDARY
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING EDGE PAVE
[Symbol]	EXISTING WELLS
[Symbol]	EXISTING METEORIC
[Symbol]	EXISTING CONDUIT
[Symbol]	PROPOSED BUILDING / CENTER LINE
[Symbol]	PROPOSED ACCESS / UTILITY EASEMENT
[Symbol]	PROPOSED LIGHT DUTY PAVING AREA
[Symbol]	PROPOSED CONCRETE APRON / SIDEWALK
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED CHAINLINK FENCE
[Symbol]	PROPOSED FIRE WATER MAIN, VALVE, HYDRANT AND WELL
[Symbol]	PROPOSED DOMESTIC WATER MAIN, VALVE AND WELL
[Symbol]	PROPOSED UNDERGROUND ELECTRIC, CABLE AND TELEPHONE LINES
[Symbol]	PROPOSED GAS SERVICE
[Symbol]	PROPOSED SANITARY SEWER LATERAL & CLEAFOUT
[Symbol]	PROPOSED CONDUIT
[Symbol]	PROPOSED STORM PIPE, INLET, MANHOLE AND HEADWALL
[Symbol]	PROPOSED INFILTRATION BERM
[Symbol]	PROPOSED INFILTRATION BERM CONTOUR
[Symbol]	PROPOSED TREELINE

- NOTES:**
- REFER TO THE EROSION CONTROL PLAN SUBMITTAL ENTITLED "NARRATIVE REPORT ON EROSION AND SEDIMENTATION CONTROL FOR NEW VENTURES PARK, LOTS 100 & 110 ARCADE PROPERTIES, LLC TOBYHANNA TOWNSHIP, MONROE COUNTY, PENNSYLVANIA" AND A SUCCESSFUL PERMITS PREPARED BY REILLY ASSOCIATES CONSULTING ENGINEERS.
 - REFER TO THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN ENTITLED "POST CONSTRUCTION STORMWATER MANAGEMENT PLAN FOR NEW VENTURES PARK, LOTS 100 & 110 ARCADE PROPERTIES, LLC TOBYHANNA TOWNSHIP, MONROE COUNTY, PENNSYLVANIA, 2018" AND A SUCCESSFUL PERMITS PREPARED BY REILLY ASSOCIATES CONSULTING ENGINEERS.
 - THE RAINFALL FROM THE SITE DRAINS TO COOSE RUN, A TRI-BUTARY TOBYHANNA CREEK, OR DIRECTLY TO TOBYHANNA CREEK, WHICH IS CLASSIFIED ON CHAPTER 83.30 AS A HIGH QUALITY COLD WATER FISH CREEK OR HQ-CWF.
 - EROSION & SEDIMENTATION POLLUTION CONTROL PLAN AND NOTES REQUIRE HAVE PREVIOUSLY BEEN REVIEWED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) TO ACCESS DRAINAGE TO CHANNELS AND PORTIONS OF THE DISTRICT OF COMMONWEALTH, 124.002 TO 124.012, A WATER CONSTRUCTION PROJECT AND ENFORCEMENT OF THE CLEAN WATER ACT OF 1987. THE PLAN HAS BEEN ALSO OBTAINED FOR WELLS AND STREAM PROTECTION. ALL CONSTRUCTION WITHIN THESE AREAS SHALL BE IN ACCORDANCE WITH APPROVED PLANS AND PERMITS.
 - THE PROPOSED LIGHT COORDINATE FOOT LAMP LOCATIONS WITH THE ENGINEER TO BE CONSISTENT WITH THE PAVEMENT AREA MAPS.
 - REMOVAL OF TREES SHALL BE LIMITED TO WHAT IS SHOWN ON THE PLANS.
 - RETENTION SURFACES MUST BE FURNISHED WITH SLOPE AWAY FROM BUILDINGS AT A MINIMUM GRADE OF 2% FOR 10 FEET AND SURFACE SHALL SLOPE AWAY FROM BUILDING AT A MINIMUM GRADE OF 5% FOR 10 FEET.

EXETER BLAKESLEE LOT 110 LAND LLC		Drawn By: EV
FINAL PLANS NEW VENTURES PARK LOT 110 TOBYHANNA TOWNSHIP, MONROE COUNTY PENNSYLVANIA		Checked By: LIPS
		Approved By: CPM
		Date: 3/13/2018
STORMWATER OPERATION & MAINTENANCE PLAN		Scale: N.T.S.
		Project No: 17052_06
		Sheet No: 26



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